

HLM  
Architects

**Swimming in Shrewsbury**  
Leisure Provision: Stage 01 Report

Shropshire Council

October 2020

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# 01 Introduction

## Purpose of the Report

HLM have been commissioned by Shropshire Council to produce an RIBA Stage 01 report for future works to be undertaken on the sites at the Quarry and Sundorne Sports Village.

These works focus on the future leisure provision within Shrewsbury and are closely related to the findings of the recently produced Leisure Facilities Strategy for Shropshire as a county.

This report identifies two potential sites for improvement within the Shrewsbury town area which are seen as inter-connected opportunities.

The Quarry is seen as an opportunity to radically improve the town centre leisure offering creating more of a destination which will contribute to both a day and night-time economy and promote a sustainable, healthy living agenda.

In conjunction with this, Sundorne Sports Village is seen as a site with the potential to better accommodate competition swimming facilities owing to its position near the North-West relief road and significant parking capacity.

Both sites have the potential to offer upgraded fitness facilities and the Quarry will aim to incorporate additional uses such as a cafe, bistro and spa to encourage increased dwell time within this important town centre facility.

This report sets out the potential options for both the Quarry and Sundorne Sports Village, demonstrating the capacity of the sites to hold a variety of different wet leisure provisions as well as showcasing the ability of the Quarry site to support additional uses.

Each option is assessed against its; spatial requirements, programmatic implications and capital costing to arrive at a set of positives and negatives which will help to contextualize the choice of a preferred option.

## Critical Success Factors

The Critical Success Factors for the developments at both the Quarry and Sundorne Sports Village have been framed by both the Leisure Facilities Strategy and the key goals of the Big Town Plan and form a critical part of the analysis of each option. These success factors have been defined by Shropshire Council and are as follows:

### CRITICAL SUCCESS FACTORS PRIORITY 1

The need to develop a high quality town centre leisure destination that is cost effective, meets the needs of resident and is in line with the Leisure Facilities Strategy and the Shrewsbury 'Big Town Plan'

### CRITICAL SUCCESS FACTORS PRIORITY 2

Subject to the findings of the RIBA stage 01 report (ref site capacity and capabilities), explore whether the leisure facility can facilitate the development of complimentary uses, partnerships and/or commercial opportunities in line with the 'Big Town Plan' that maximise the potential of the site and reflect it's unique setting in the town.

## The Quarry

The Quarry is an existing town centre leisure facility which is well utilised and appreciated by the people of Shrewsbury. However, the current facilities are operationally outdated and in many cases nearing the end of their life. In addition to this the existing design does not maximise the potential of its location on the Quarry Park and in some cases detrimentally impacts existing streetscapes home to listed buildings.

The site, therefore offers much potential for improved facilities which can respond to its dual town centre and parkside setting and help to activate the area in a way which champions the goals of the Big Town Plan from town centre place-making to improved green infrastructure.

Alongside these opportunities there are inevitable constraints which will need to be considered as the preferred option moves into the design phases. Issues of access and topography are clear challenges which will need to be carefully considered in order to create a holistic development that can respond to its site both operationally and aesthetically.

Good design will channel these opportunities and constraints into a solution which will tie multiple levels and access requirements together forming a cohesive architecture which can be a landmark for the town, extending the public realm from the park to the street and creating clear lines of public and operational movement.

From a utilities perspective the site is well served owing to its existing function as a leisure centre. Although it is possible that new connections for some services may need to be made this is not considered a major constraint on the site at present (see Utilities summary page and Quoda utilities feasibility report).

The Quarry leisure centre is a constrained site with limited parking facilities and as such is not best placed to provide competition facilities which can hold galas and extensive lane swimming. It does, however, provide a great location for leisure activities tying in with the adjacent park and linking with sustainable transport links within the town centre and beyond.

## Sundorne Sports Village

Sundorne Sports Village is a large leisure centre located on the outskirts of Shrewsbury town with good road connections to the towns and villages of Shropshire County. The existing facilities are focused mainly around playing field provision

with an impressive array of pitches used for team and school sports on a weekly basis. It is considered, however that the fitness facilities could be upgraded and that this site may also provide the potential to accommodate the competition swimming which the Quarry may struggle to support.

The site is constrained by the well utilised surrounding playing fields and as such offers only one viable site for the development of wet leisure facilities. This development would operate separately from the existing building although the design would aim to compliment the current layout, access and servicing routes.

Although we believe the site to be large enough to accommodate new wet leisure facilities, it is felt to be challenging to accommodate additional fitness facilities within this new building owing to the challenges and expense associated with building on top of a swimming pool. It is therefore suggested that the improved fitness offering is provided within a reconfigured plan for the existing sports centre.

From a utilities perspective the site is well served owing to its existing facilities. However it is likely that the addition of swimming pool functions may necessitate a new connection to the natural gas supply in order to supply the additional boilers. It is also possible that renewable solutions could help mitigate this requirement.

## The Options

The options considered in this report have been guided by the project team at Shropshire Council and have been summarised overleaf. options 1-3 consider the different wet leisure provisions which could be provided at the Quarry and the impact of these decisions on the facilities required at Sundorne. Option 4 demonstrates the capacity of the Quarry site to accommodate uses in addition to the wet & dry leisure and food & beverage offerings suggested in the previous options.

Schedules of accommodation have been produced based on guidance from Sport England, building regulations and other best practice examples and our working principles and reference material can be found in Appendix 1. Plant allowances have been verified 'in principle' by Quoda as stated in their report.

These areas have been translated into high level block massing and indicative layouts which demonstrate basic adjacencies and relationships. These are located in Appendix 2



demonstrating the capacity of each option.

### Programmes and Costing

High level programmes and cost analysis have been prepared by RLB and summarised in this report. Dates have been based on the assumptions that the Stage 02 design process will begin in January 2021 and that the construction process will begin in June 2022. Programmes have been based on a traditional procurement method and consider the works at Sundorne and the Quarry to be inextricable linked in order to ensure that swimming facilities are not decommissioned at any point during the construction period. This decision understandably elongates each programme as the Quarry pool cannot be started until the facilities at Sundorne are completed to ensure a seamless transition of swimming facilities.

Costing has been similarly calculated, considering the two sites as separate costings but also providing the total capital cost for the works on both facilities. The individual project costs include sums for demolition, site abnormalities, and external works and the overall option capital cost includes contingency, professional fees and inflation.

These figures have been visually summarised overleaf and briefly listed below (NB all facilities include cafe and bistro offerings in addition to listed leisure facilities):

#### Option 1

Construction of competition swimming and dry leisure facilities at the Quarry and provision of a temporary pool at Sundorne for the duration of the construction period:

Completion Date - August 2024  
Capital Cost - £24,795,000

#### Option 2

Construction of leisure water, learner pool and dry leisure facilities at the Quarry and provision of a permanent competition facility at Sundorne:

Completion Date - December 2024  
Capital Cost - £30,235,000

#### Option 3

Construction of leisure water, training pool and dry leisure facilities at the Quarry and provision of a permanent competition facility at Sundorne:

Completion Date - January 2025

Capital Cost - £30,235,000

#### Option 4

Construction of leisure water, training pool, dry leisure facilities, spa and soft play at the Quarry and provision of a permanent competition facility at Sundorne:

Completion Date - March 2025  
Capital Cost - £30,235,000

### Design Considerations

In addition to the options appraisals this report includes an initial assessment of the key design considerations which will need to be developed in the Stage 02 process. Consideration of these factors, even at this stage will help to create a holistic design which can respond to the various users, operators, settings and facilities which the Quarry site will hold.

Below we have listed our initial considerations which have helped to improve our understanding of the Quarry site and which will frame the development of the project into a concept design for the preferred option. This list is by no means exhaustive and will evolve alongside the concept design in Stage 02:

- Re-use of existing excavation
- Multiple Entrance Strategy
- Maximisation of level differences
- Enhanced Public Realm
- Centralised Circulation route
- Split site character
- Design of a landmark development
- Sustainable Design
- Maximisation of Key Views
- Access and servicing strategy

### Conclusions

It is clear that the Quarry is capable of holding competition facilities (as shown in Option 1) but that the access and parking

constraints make this type of facility much less appropriate for a town centre site and that the additional water requirements reduce the potential of including additional facilities alongside the leisure offering. Sundorne, however has a significantly larger car park with capacity to improve its provision and is a wide, open site where access could be more easily dealt with.

The leisure provision demonstrated in options 3 and 4 provides suitable facilities for learner, family and lane swimmers, presenting a centre which is much more in keeping with the surrounding environment and able to contribute extremely positively to the natural and town centre surroundings.

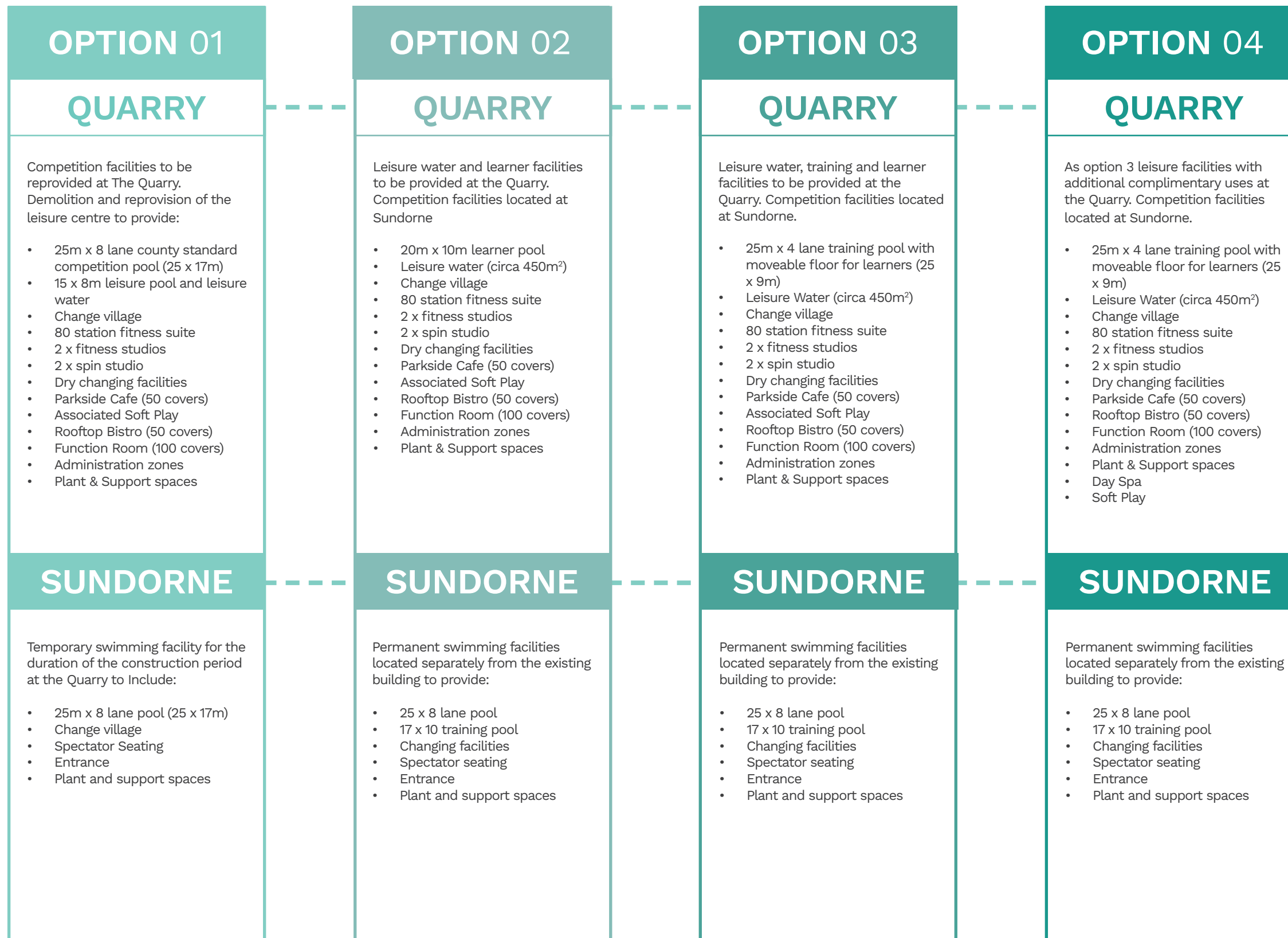
Option 4 demonstrates that the Quarry site is capable of holding significant additional facilities alongside the wet and dry leisure offerings and it is our belief that this addition could make a distinct difference to the volume and variety of users.

In addition to this, the make-up of our town centres is drastically changing due to the current pandemic situation and as such it is imperative to create versatile, multi-functional facilities. This additional capacity could provide additional resilience to this design, creating multiple income streams whilst improving the flexibility and adaptability of this Shropshire asset.

## NEXT STEPS - STAGE 2-3 DESIGN

Once a preferred solution has been reached we would envisage the project moving forwards into the stage 2 and 3 design process. This process will include:

- Additional site surveys (ground conditions, ecology etc)
- Creation of sustainability targets (BREEAM, Passivhaus etc)
- Development of more detailed briefs for cafe, bistro and opportunity spaces
- Understanding the key user journeys
- Creation of clear massing principles
- Developing the integration with the Quarry Park
- Development of General Arrangement Plans
- Creation of an elevational strategy
- Creation of a clear landscaping strategy and design
- Development of sustainability features
- Development of plans to reflect chosen operator models (if applicable)
- Pre-application discussions with the Shropshire planning team
- Development of planning documents
- Development of material for public consultation



OPTION 01	OPTION 02	OPTION 03	OPTION 04
<b>QUARRY</b>	<b>QUARRY</b>	<b>QUARRY</b>	<b>QUARRY</b>
TOTAL COST OF CONSTRUCTION: <b>£16,040,000</b>	TOTAL COST OF CONSTRUCTION: <b>£14,125,000</b>	TOTAL COST OF CONSTRUCTION: <b>£14,447,000</b>	TOTAL COST OF CONSTRUCTION: <b>£18,157,000</b>
TOTAL NUMBER OF WEEKS TO CONSTRUCT: <b>86 WEEKS</b>	TOTAL NUMBER OF WEEKS TO CONSTRUCT: <b>82 WEEKS</b>	TOTAL NUMBER OF WEEKS TO CONSTRUCT: <b>84 WEEKS</b>	TOTAL NUMBER OF WEEKS TO CONSTRUCT: <b>94 WEEKS</b>
<b>SUNDORNE</b>	<b>SUNDORNE</b>	<b>SUNDORNE</b>	<b>SUNDORNE</b>
TOTAL COST OF CONSTRUCTION: <b>£2,922,000</b>	TOTAL COST OF CONSTRUCTION: <b>£8,920,000</b>	TOTAL COST OF CONSTRUCTION: <b>£8,920,000</b>	TOTAL COST OF CONSTRUCTION: <b>£8,920,000</b>
TOTAL NUMBER OF WEEKS TO CONSTRUCT: <b>20 WEEKS</b>	TOTAL NUMBER OF WEEKS TO CONSTRUCT: <b>40 WEEKS</b>	TOTAL NUMBER OF WEEKS TO CONSTRUCT: <b>40 WEEKS</b>	TOTAL NUMBER OF WEEKS TO CONSTRUCT: <b>40 WEEKS</b>
<b>TOTAL</b>	<b>TOTAL</b>	<b>TOTAL</b>	<b>TOTAL</b>
TOTAL COST OF CONSTRUCTION: (including professional fees, contingency and inflation) <b>£24,795,000</b>	TOTAL COST OF CONSTRUCTION: (including professional fees, contingency and inflation) <b>£30,235,000</b>	TOTAL COST OF CONSTRUCTION: (including professional fees, contingency and inflation) <b>£30,666,000</b>	TOTAL COST OF CONSTRUCTION: (including professional fees, contingency and inflation) <b>£35,763,000</b>
TOTAL NUMBER OF WEEKS TO CONSTRUCT: <b>106 WEEKS</b>	TOTAL NUMBER OF WEEKS TO CONSTRUCT: <b>122 WEEKS</b>	TOTAL NUMBER OF WEEKS TO CONSTRUCT: <b>124 WEEKS</b>	TOTAL NUMBER OF WEEKS TO CONSTRUCT: <b>134 WEEKS</b>

OPTION 01		OPTION 02	
QUARRY		QUARRY	
Positives	Negatives	Positives	Negatives
<ul style="list-style-type: none"> <li>Continuity of competition facilities in the town centre</li> <li>Ease of access for residents within Shrewsbury</li> <li>Wide variety of facilities for swimmers of all standards</li> <li>Provision of a temporary competition pool at Sundorne has a low impact on the current facility which will not impede the operation of Sundorne Sports Village</li> <li>Relatively short construction time which can be accommodated during design development stages for the Quarry</li> <li>Enables competition swimming to be consistently provided in Shrewsbury whilst the Quarry is upgraded</li> </ul>	<ul style="list-style-type: none"> <li>Additional cost of constructing the temporary swimming facilities at Sundorne for the duration of the construction at the Quarry.</li> <li>No long-term improvements to Sundorne Facilities</li> <li>Capital cost of the temporary pool cannot be recuperated through operational revenue as the facility will not be open long enough to realise any such benefits</li> <li>Need to dismantle the temporary pool building after use</li> <li>Relatively unsustainable solution as unnecessary embodied carbon will be utilised in the construction process and the building will be unlikely to contribute positively to its environment whilst operational</li> <li>Negotiations with the Football Foundation, Big Lottery and Shropshire Community Leisure Trust will be necessary reference their interest in the Lease</li> <li>Access to the Quarry site for large vehicles is highly constrained which may cause problems when competitions are held</li> <li>Parking at the Quarry site is limited which is not ideal for a competition facility</li> <li>Leisure water is limited in size due to the size of other facilities</li> <li>The size of swimming facilities requires a very large built footprint which limits its capacity to enhance the surrounding public realm</li> <li>Size of facilities at the Quarry site is likely to limit the ability of the design to accommodate other commercial uses</li> </ul>	<ul style="list-style-type: none"> <li>Reduced water offering requires the smallest built footprint which allows the building more opportunity to positively contribute to the surrounding public realm</li> <li>Water offering based around family swimming is more in keeping with the setting beside the park</li> <li>Increased leisure water provides a new attraction in the town centre and encourages footfall in and around the site.</li> <li>Lack of competition facilities provides the opportunity to promote this site as part of the wider sustainable travel agenda within the Big Town Plan.</li> <li>Provision of a separate competition swimming pool at Sundorne which will not largely impede the current operation of the facility</li> <li>Placement of competition facilities in a location which is accessible from Shrewsbury and other surrounding towns and villages</li> <li>Placement of competition facilities in a location better equipped to deal with the parking implications of competition swimming</li> <li>Creation of a new attraction at Sundorne which may improve the fitness offering and thus make the facility more popular</li> <li>No disturbance to the existing facilities such as team change and the academy.</li> </ul>	<ul style="list-style-type: none"> <li>Reduced water offering at the Quarry site provides the most limited swimming facilities and may reduce the number and variety of users and negative reaction from some user groups</li> <li>A new swimming pool at Sundorne further elongates the main building creating a long circulatory route</li> <li>New fitness facilities at Sundorne cannot be accommodated adjacent to the changing block without building on top of the pool and therefore the fitness improvements would need to be made within the existing building</li> <li>Excavation would be required to accommodate the plant room for the new pool</li> <li>Separate facilities at Sundorne may create operational challenges and will be less efficient than facilities integrated with the existing infrastructure</li> <li>The addition of new facilities to the Sundorne site will require careful consideration of the current parking provision which is currently well utilised at weekends</li> <li>Negotiations with the Football Foundation, Big Lottery and Shropshire Community Leisure Trust will be necessary reference their interest in the Lease</li> </ul>

OPTION 03		OPTION 04	
QUARRY		QUARRY	
Positives	Negatives	Positives	Negatives
<ul style="list-style-type: none"> <li>• Versatile water offering providing training and leisure opportunities</li> <li>• Leisure water based around family swimming is more in keeping with the setting beside the park</li> <li>• Increased leisure water provides a new attraction in the town centre and encourages footfall in and around the site</li> <li>• Lack of competition facilities provides the opportunity to promote this site as part of the wider sustainable travel agenda within the Big Town Plan.</li> <li>• A 25m x 4 lane pool with moveable floor provides opportunities for club training, lane swimming and provision of swimming lessons in the town centre with minimal impact on the spatial requirements for the wet leisure offering.</li> <li>• Provision of a separate competition swimming pool at Sundorne which will not largely impede the current operation of the facility</li> <li>• Placement of competition facilities in a location which is accessible from Shrewsbury and other surrounding towns and villages</li> <li>• Placement of competition facilities in a location better equipped to deal with the parking implications of competition swimming</li> <li>• Creation of a new attraction at Sundorne which may improve the fitness offering and thus make the facility more popular</li> <li>• No disturbance to the existing facilities such as team change and the academy.</li> </ul>	<ul style="list-style-type: none"> <li>• A new, separate swimming pool, at Sundorne further elongates the main building creating a long circulatory route</li> <li>• New fitness facilities cannot be accommodated adjacent to the changing block without building on top of the pool and therefore the fitness improvements would need to be made within the existing building</li> <li>• Excavation would be required to accommodate the plant room</li> <li>• Separate facilities may create operational challenges and will be less efficient than facilities integrated with the existing infrastructure</li> <li>• The addition of new facilities to the Sports Village site will require careful consideration of the current parking provision which is currently well utilised at weekends</li> <li>• Negotiations with the Football Foundation, Big Lottery and Shropshire Community Leisure Trust will be necessary reference their interest in the Lease at Sundorne</li> </ul>	<ul style="list-style-type: none"> <li>• Versatile water offering providing training and leisure opportunities</li> <li>• Leisure water based around family swimming is more in keeping with the setting beside the park</li> <li>• Increased leisure water provides a new attraction in the town centre and encourages foot fall in and around the site</li> <li>• Lack of competition facilities provides the opportunity to promote this site as part of the wider sustainable travel agenda within the Big Town Plan.</li> <li>• A 25m x 4 lane pool with moveable floor provides opportunities for club training, lane swimming and provision of swimming lessons in the town centre with minimal impact on the spatial requirements for the wet leisure offering.</li> <li>• Additional facilities provide the potential for customers to extend their visit to the facility thus increasing the likelihood of revenue generation and improved operational financial efficiency</li> <li>• Provision of a separate competition swimming pool at Sundorne which will not largely impede the current operation of the facility</li> <li>• Placement of competition facilities in a location which is accessible from Shrewsbury and other surrounding towns and villages</li> <li>• Placement of competition facilities in a location better equipped to deal with the parking implications of competition swimming</li> <li>• Creation of a new attraction at Sundorne which may improve the fitness offering and thus make the facility more popular</li> <li>• No disturbance to the existing facilities such as team change and the academy.</li> </ul>	<ul style="list-style-type: none"> <li>• Additional commercial uses will increase the overall area of the facility and therefore the amount of capital investment required for design &amp; construction.</li> <li>• Additional uses may require multiple stakeholders with different operational models which will need to be managed.</li> <li>• Negotiations with the Football Foundation, Big Lottery and Shropshire Community Leisure Trust will be necessary reference their interest in the Lease at Sundorne</li> </ul>

# 02

## Project Context



# "A holistic and integrated approach to the way we make decisions making them more joined-up in line with the Vision and the Big Town Plan"

## Shrewsbury Big Town Plan - 10 Goals for Shrewsbury



### SUSTAINABLE TRANSPORT

We want to make it much better for the pedestrian and cyclist, especially in the town centre. This means shifting the balance of priority given to movement across the town from the private car to walking and cycling and greater use of rail and bus.



### FLEXIBLE WORKSPACE

We recognise the rapid changes in working patterns and working practice. We want to create new, flexible workspace environments built around buzzy, active places, both in and around the town centre and out on the edge of town.



### FUTURE GROWTH

We want to plan for future sustainable growth that utilises development opportunities on a mix of sites, including land in and on the edge of the town centre, as well as development on land located on the periphery of town.



### ACCESSIBLE NETWORKS

We want to build strong physical and virtual networks connecting education, healthcare, business start-ups, new industries and sports provision across the town to improve mobility and to form new alliances. The importance of well-being in Shrewsbury is key.



### VARIED HOUSING STOCK

We want to open up the housing market in the town through increasing choice and improving affordability. This means increasing town centre living and introducing different housing models and tenures.



### SUPPORT FOR INNOVATION

We are very proud of our education establishments. We want to retain more of our best young talent in the town and attract new talent from outside. We want to support innovation and start-ups in exciting new places.



### TOWN-CENTRE PLACE-MAKING

We want to strengthen the all-round appeal of the town centre based around better place-making, the town's extraordinary built heritage and the visitor experience. We want to inject greater diversity of use into the centre, housing leisure, entertainment, culture and the arts.



### GREEN & BLUE INFRASTRUCTURE

We want to make this green town greener still, by connecting existing green spaces across the town, making new links and new parks where we can and making much more of the River corridor.



### DESIGN QUALITY

We want to raise the quality of design across the town, particularly for new housing. We will develop what we will call "The Shrewsbury Test" to raise standards for all new development.



### INVESTMENT OPPORTUNITY

We want to encourage new development, infrastructure and investment but will take a much more holistic and integrated approach to the way we make decisions making them more joined-up in line with the Vision and Big Town Plan.

# "Shropshire will be a county where healthier, active lifestyles are encouraged, supported and facilitated for everyone"

## Leisure Facilities Strategy - 3 Core Principles



### ACCESSIBILITY & INCLUSIVITY

Support for the creation of a high quality and sustainable indoor leisure facility mix, which provides accessible and inclusive activities for all Shropshire residents leading to increased participation and active lifestyles, thereby meeting community need;



### FOSTERING COMMUNITIES

Recognising the importance of leisure facilities as relevant community spaces, accessible to all and offering opportunities for the delivery of a wide range of activities, services, support and entertainment to local communities and people; and



### PARTNERSHIP OPPORTUNITIES

A commitment to work with a wide range of partner organisations and individuals as co-creators and co-deliverers\* of leisure facilities so that they best reflect the differing needs of local communities.



### SWIMMING FACILITIES

Replacement of swimming facilities in Shrewsbury (the Quarry and possibly Sports Village)



### FITNESS FACILITIES

Development of a new fitness offer as part of new provision at the Quarry

Remodelled fitness provision at the Sports Village

## Leisure Facilities Strategy - 5 Strategic Priorities



### HEALTHIER LIFESTYLES

To work with partners to support the people of Shropshire to live longer, healthier and quality lives through sport and physical activity with a focus on young and older people



### RESILIENT COMMUNITIES

To support the resilience of local communities and the development of Place by strengthening local communities through sport and physical activity.



### ECONOMIC GROWTH

To support economic growth by developing opportunities for people to reach their full potential by providing employment, volunteering and tourism opportunities



### PROMOTING QUALITY

To take a cross county Place based approach to the delivery of high quality leisure facilities through targeted investment, partnership opportunities, community empowerment and commercial acumen in order to reduce levels of subsidy.



### SUSTAINABLE DEVELOPMENT

To aim to reduce our carbon footprint in line with the commitment of Shropshire Council to the declaration of Climate emergency to become carbon neutral by 2030



"Overall, there are no fundamental issues on any of the sites from a utilities perspective which would prohibit the options put forwards in this study."

## Quoda Utilities Report - Site Capacity study

(FOR FURTHER INFORMATION PLEASE REFER TO THE QUODA UTILITIES FEASIBILITY REPORT)

The Quarry



### MAINS COLD WATER SUPPLY

The map shows that there is a 90mm High Performance Polyethylene (HPPE) service connection routed down Priory Road, with a stop cock connection at the site boundary Which would be expected to supply sufficient capacity for the proposed future works. A new connection may be needed to serve the upgraded building.



### NATURAL GAS

The utility search shows that there is a 12" CI low pressure gas main located in Claremont Bank. A 180 PE gas connection can provide between 1 MW to 3 MW gas load; therefore, we would expect that that this supply will provide sufficient capacity for the proposed future works.



### ELECTRICITY

The utility search shows existing LV supplies the building off the mains LV cable in Priory Road and an existing service cable near the existing car park. Further investigation will be needed to test the future and current loads to know if this will be sufficient. Renewable energy sources could also be considered here.



### TELECOMMS

The utility search shows an in-ground Openreach box with data cabling entering the site the side entrance to the site off Priory Road. We would expect that there may be additional lines required to serve multiple tenants.



### SUSTAINABILITY COMMENTARY

The size and shape of the proposed buildings is highly favourable for achieving the Passivhaus standards. Large, cuboidal shaped buildings have relatively low surface area compared to their useful floor area, which makes them inherently thermally efficient.

The swimming pools will contribute a significant component of building energy and carbon emissions, which could be significantly reduced by the application of the Passivhaus standard. Functionally, indoor swimming pools are also an ideal match for Passivhaus.

Sundorne



### MAINS COLD WATER SUPPLY

The utility search shows that there is a 15" asbestos cement (AC) cold water main located within farmland to the left hand side of the site. This is a large main which would be providing water to many buildings across the local area. We would expect the existing water supply to provide sufficient capacity for the proposed future works.



### NATURAL GAS

The utility search shows that there is a 10" CI low pressure gas main located in Sundorne Road. A 90 PE gas connection can provide between 150 kW to 400 kW gas load, which might not be large enough to supply the sports centre and a future swimming facility. A new larger connection off would likely be required to provide sufficient capacity for the proposed future works.



### ELECTRICITY

The utility search shows existing HV supplies to a dedicated electrical substation for the sports village located on Sundorne Road. There is however no record of the routes that the service takes around the site. Further investigations will need to be carried out to establish what is currently installed in the vicinity of the site.



### TELECOMMS

The utility search shows existing Openreach data cabling to the site from an in-ground box on Sundorne Road. We would expect that there are sufficient lines provided for the proposed plans.

As a swimming pool requires heating all year-round, high levels of glazing on the south façade will enable much of the space's energy demand to be met by solar heating. A number of Passivhaus swimming pools have been constructed in Germany, while the first one in the UK is currently being developed by Exeter City Council

**02**  
The  
Sites



## The Sites

### Site Location

The two proposed sites are located in very different areas of Shrewsbury.





The Quarry is set within the historic town centre and lies adjacent to the expansive Quarry park. The site has good access via public transport, walking and cycling but is limited by its car parking provision on site.

The Sports Village site is located in Sundorne, a residential quarter further out of the town centre. It is an extensive facility comprising gym, sports halls, squash courts and outdoor sports pitches. It is used regularly by schools and residents of Shrewsbury and its surrounding towns, though being out-of-town is less accessible than the central Quarry site.

A new competition pool at the Sports Village, would attract users to the facility whose needs are currently not provided for. The edge of town facility has a number of dry sports facilities (indoor and outdoor) and a pool would provide a modern fit for purpose use that is accessible to a larger population of Shropshire.



#### Key

-  The Quarry Leisure Centre
-  Sundorne Sports Village
-  Great Western Railway Line
-  River Severn



## The Sites

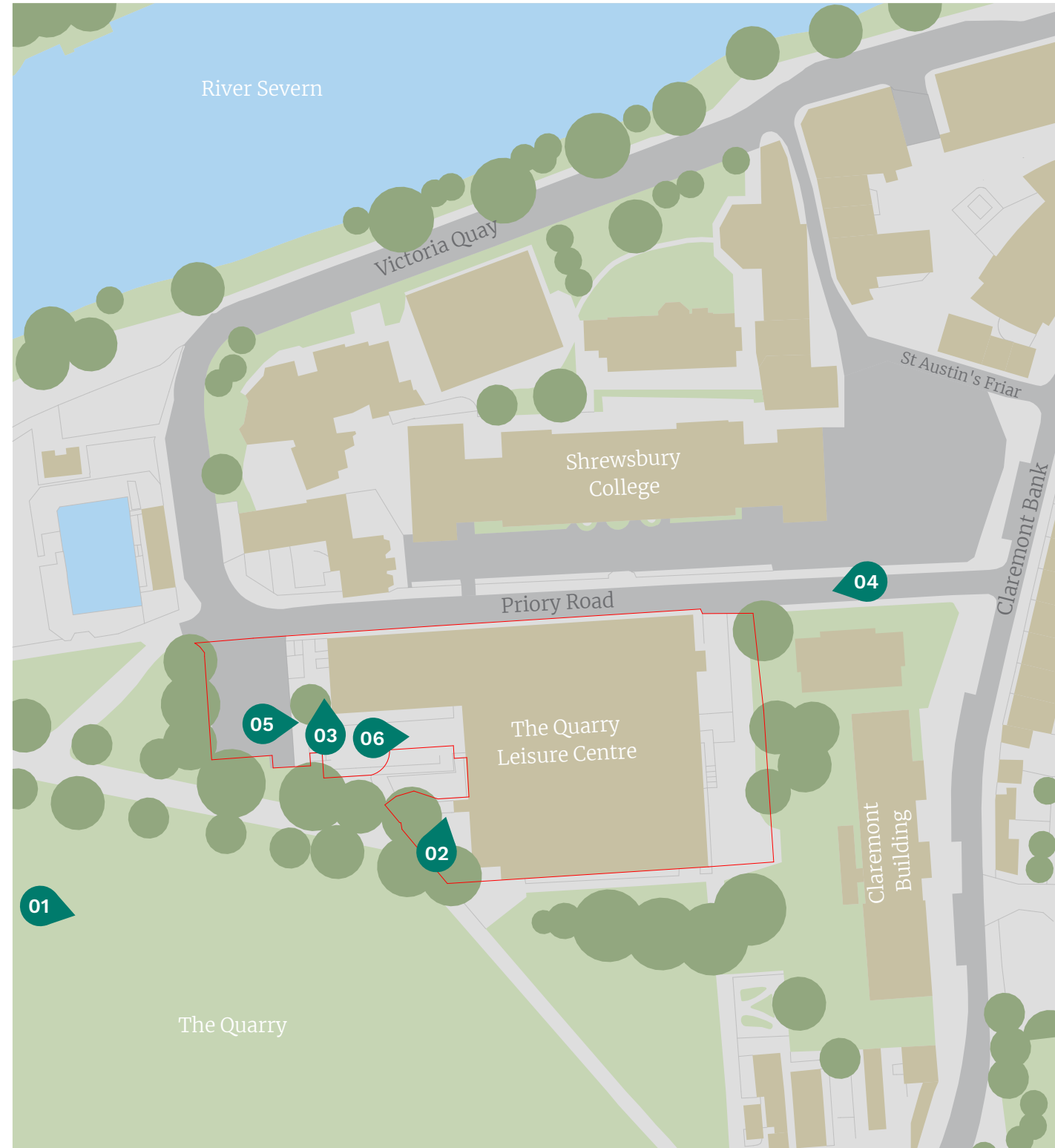
### Site Analysis - The Quarry

#### Overview

The Quarry site lies within the direct setting of Quarry park and when viewed from the west (01) provides a slightly disappointing foreground to the listed buildings of the Claremont Building, Quarry Lodge & St Chad's (amongst others) beyond. When viewed from Priory Road the leisure centre provides a similarly uninspiring setting to the ornate Shrewsbury College buildings (04).

The principal entrance to the building (06) is tucked away and provides no street presence, being accessed via a car park, steps (05) and a tired piece of public realm (03). The opportunity therefore exists to completely transform the buildings entrance experience and its relationship with the streetscape.

A small cafe (02) is accessed from the park. Again, this would benefit from a design that allows it to create a relationship with the park, providing a pleasant place to spend time and taking advantage of the significant footfall through Quarry park.



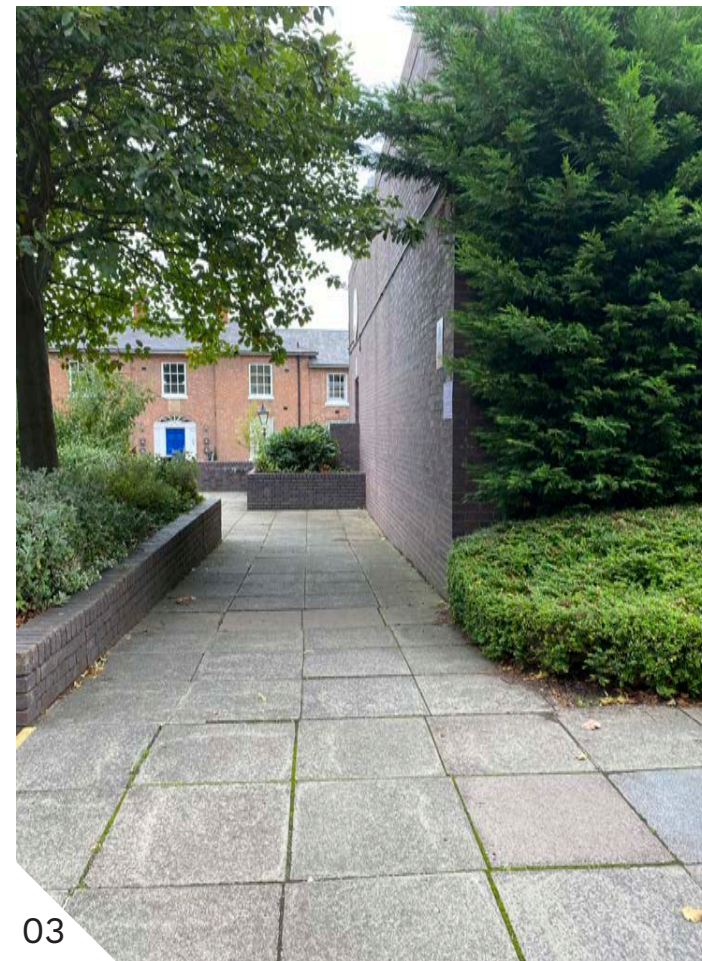




01



02



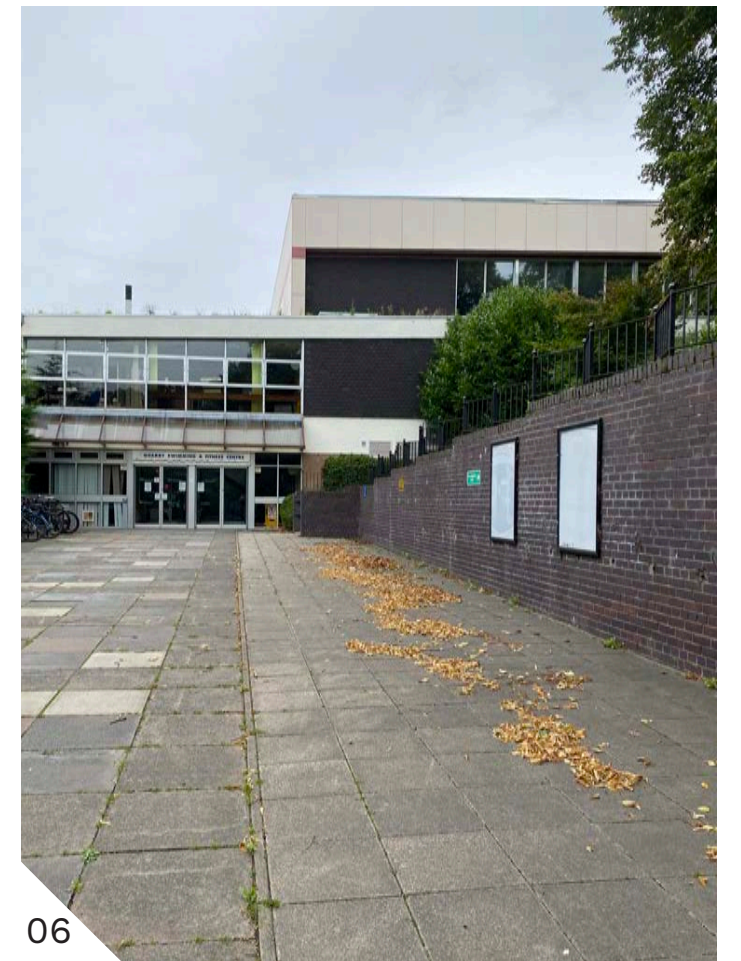
03



04



05



06



## The Sites

### Site Analysis - The Quarry

#### Heritage & Conservation Areas

The majority of Shrewsbury town centre lies within a single conservation, reflecting its historic nature and the importance of preserving its unique character. A number of buildings have therefore been listed and though some are in relatively close proximity to the site they are relatively discreet, with only Priory Lodge/Priory House being in the direct setting space of the Quarry Pool site, with the rear of Claremont House being a little further off.

Indeed much of the context of the site, including the Quarry itself, was built in the 20<sup>th</sup> century, varying substantially in quality, with the Shrewsbury College building directly to the north being a grand and visually attractive structure.



#### Key

- Site Boundary
- Grade II Listed
- Grade II\* Listed
- Conservation Area

## The Sites

### Site Analysis - The Quarry

#### Surrounding Typologies

As one might expect of a town centre location, the uses of buildings around the site are varied, though the site is identifiably within the 'cultural quarter' of Shrewsbury with several recreation, leisure and arts functions being present. Immediately to the north is the large Shrewsbury College campus whilst Claremont bank road comprises a mixture of commercial and residential properties.

Insofar as the site is adjacent to the large Quarry park with its various recreational uses it seems entirely appropriate to retain a leisure use on the proposed Quarry site.



#### Key

- Site Boundary
- Community
- Education
- Recreation, Leisure & The Arts
- Residential
- Commercial

## The Sites

### Site Analysis - The Quarry

#### Scale & Mass

The overall scale of Shrewsbury reflects its historic nature with few buildings exceeding three or four storeys. This is equally true of the site and its surroundings with most buildings being of two or three storeys. The only exceptions to this are the Claremont Building and Claremont Bank to the east. (NB storey height here is taken to mean effective building height rather than the number of floors).

Massing on the site should therefore respect this prevailing scale.





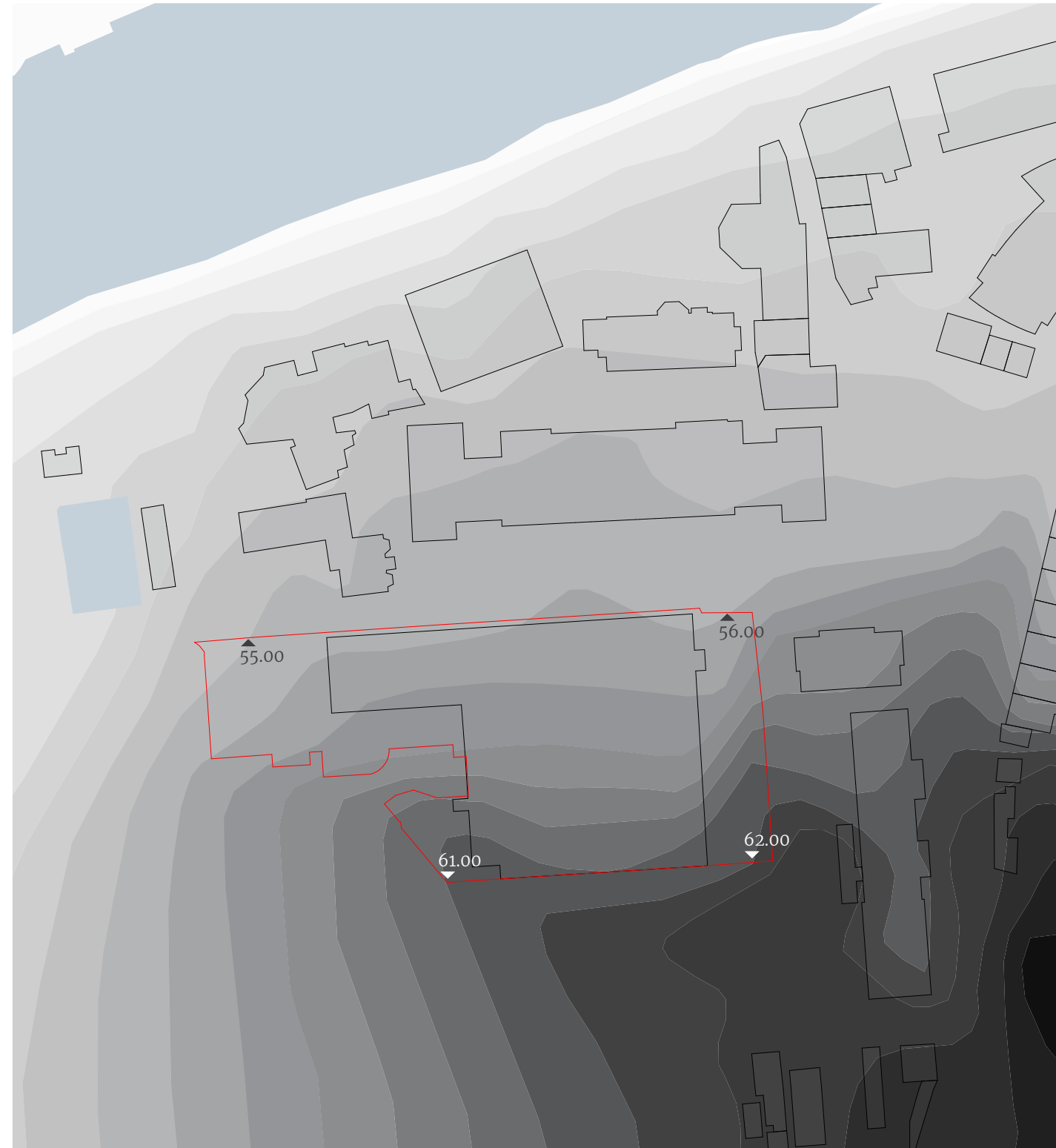
# The Sites

## Site Analysis - The Quarry

### Topography

The abiding characteristic of the site is probably its topography with the landscape rising from a low point at the river bank to the north to a high point along Claremont Bank, the overall change in altitude being circa 18m at an approximate average gradient of 1:10.

The site itself must also respond to this sloping nature, with the change in height across its breadth being circa 7m, or two full storeys.



### Key

- Site Boundary
- +49-50 AOD
- +53-54 AOD
- +57-58 AOD
- +61-62 AOD
- +65-66 AOD

## The Sites

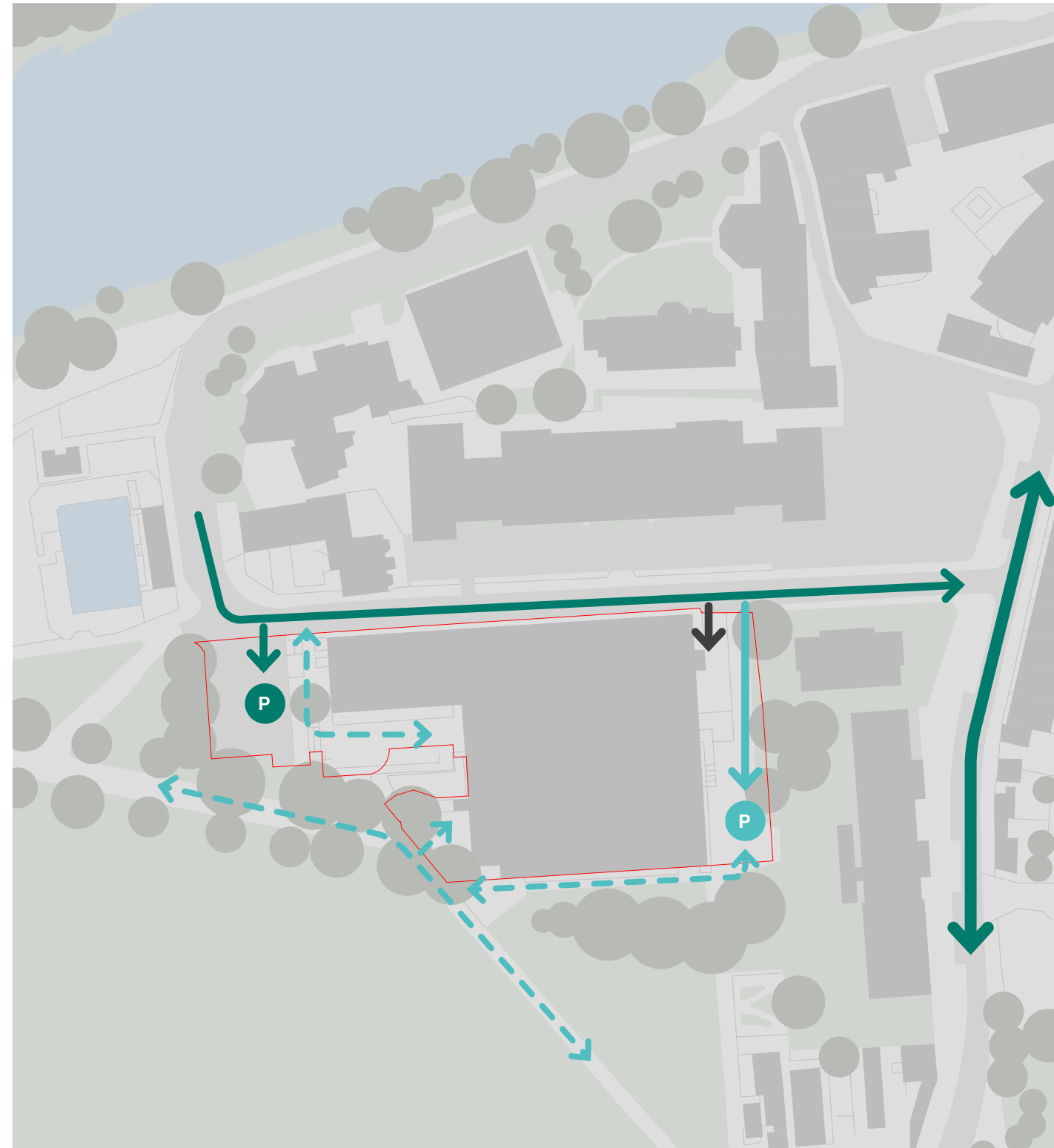
### Site Analysis - The Quarry

#### Access & Servicing

The principal vehicular access to the Quarry site is via the one-way Victoria Quay/Priory Road route. A public car park is located to the west of Priory Road whilst further to the east is a steeply ramped access to a smaller car park for staff. Beside this is a small service bay. Exit for all vehicles is via Priory Road onto Claremont Bank.

It is also noted that an existing easement is in place providing access to undercroft parking for the Claremont Building which must be retained within the proposal.

Pedestrians are able to utilise the full street network but of particular note is the route the main entrance off Priory Road with its awkward stepped arrangement, and through Quarry Park with its access to the cafe from the south-west.



#### Key

- Site Boundary
- Vehicular Route (Service)
- Vehicular Route (Private), including easement
- Vehicular Route (Public)
- - - Pedestrian Route
- P Car Park (Private)
- P Car Park (Public)

## The Sites

### Site Analysis - The Quarry

#### Environment & Amenity

The site is located next to the Quarry park - one of the principal amenity spaces within the town centre - and has the opportunity to benefit from and respond to this. The park naturally has several mature trees which are both an advantage as a visual amenity and a constraint insomuch as any new building must work around root protection zones.

As a riverfront setting the area is prone to flooding, which typically follows the contours of the landscape, though the site (being further up the hill) is not currently at risk.

The site is south facing, and other than the trees, is relatively exposed to sun throughout the day. Similarly it is exposed to prevailing south-westerly winds across the parkland.



#### Key

- Site Boundary
- Sunpath
- Prevailing Wind
- ▨ Flood Zone 3

## The Sites

### Site Analysis - The Quarry

#### Technical Considerations

One of the key considerations for the project will be the way in which construction traffic is able to access and leave the site. As identified above, the principal flow of traffic is via Claremont Bank, with traffic accessing the site having to travel down the hill to Bridge Street before looping round via Victoria Avenue/Victoria Quay onto Priory Road. A shorter route for construction traffic via St Austin's Friar is prohibited both by its narrow and constrained nature and because its northern leg is only open to traffic traveling in the opposite direction.

Initial analysis of swept vehicle paths (which should be further developed by a Transport Consultant) indicate that the turns at the western end of the route are readily achievable but that turns onto Claremont Bank may have to be reviewed in more detail.

Temporary set down could be achieved in the lay-by to the west of Priory Road or, more practically, on the existing car park.

This car park could be extended to the west, either in a temporary or permanent condition, to increase flexibility and deliver sustainable drainage strategies (SUDs) though this would require the removal of some category B trees and their subsequent reinstatement.

The quality of trees on and around the site is generally high, with all being either category A or B. Those to the south-west of the site are of particular importance and the root protection zones highlighted may restrict the extent of the proposed building footprint.



#### Key

- Site Boundary
- ➔ Direction of Traffic
- Public Highway
- Potential Set Down Space
- ▨ Public Highway Restriction
- ▨ Potential Parking Extension & SUDS
- Root Protection Zone - Category B Trees
- Root Protection Zone - Category A Trees

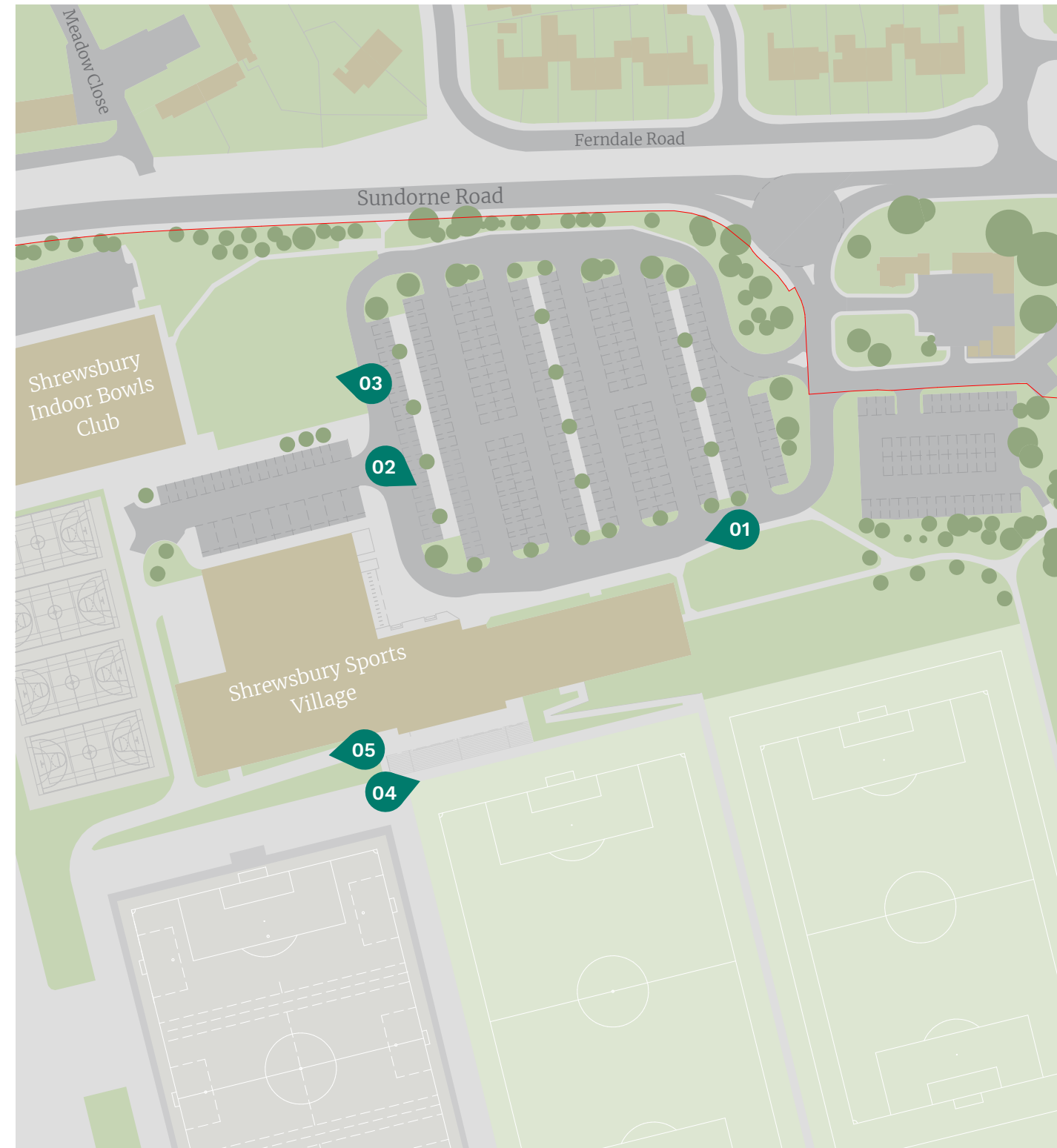
## The Sites

### Site Analysis - Sundorne

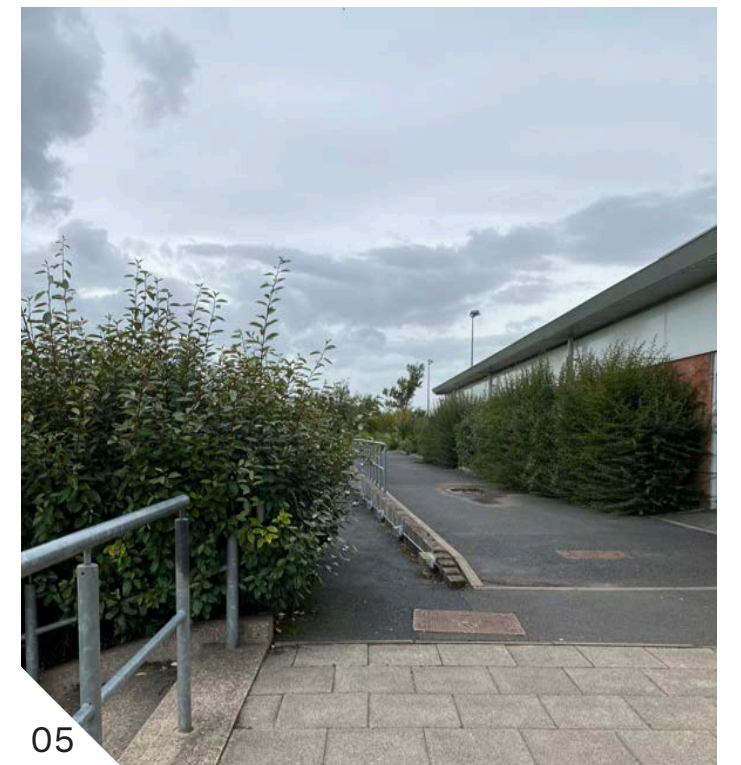
#### Overview

The site is characterised by large span buildings - the main Sports Centre to the south (01) and indoor bowls club to the north-west (03). These are served by extensive car parking to the north-east (02) accessed off Sundorne Road.

Further to the south are sports pitches. Owing to the sloping nature of this part of the site these must be reached by a large flight of steps (04) or long ramps for disabled users (05).



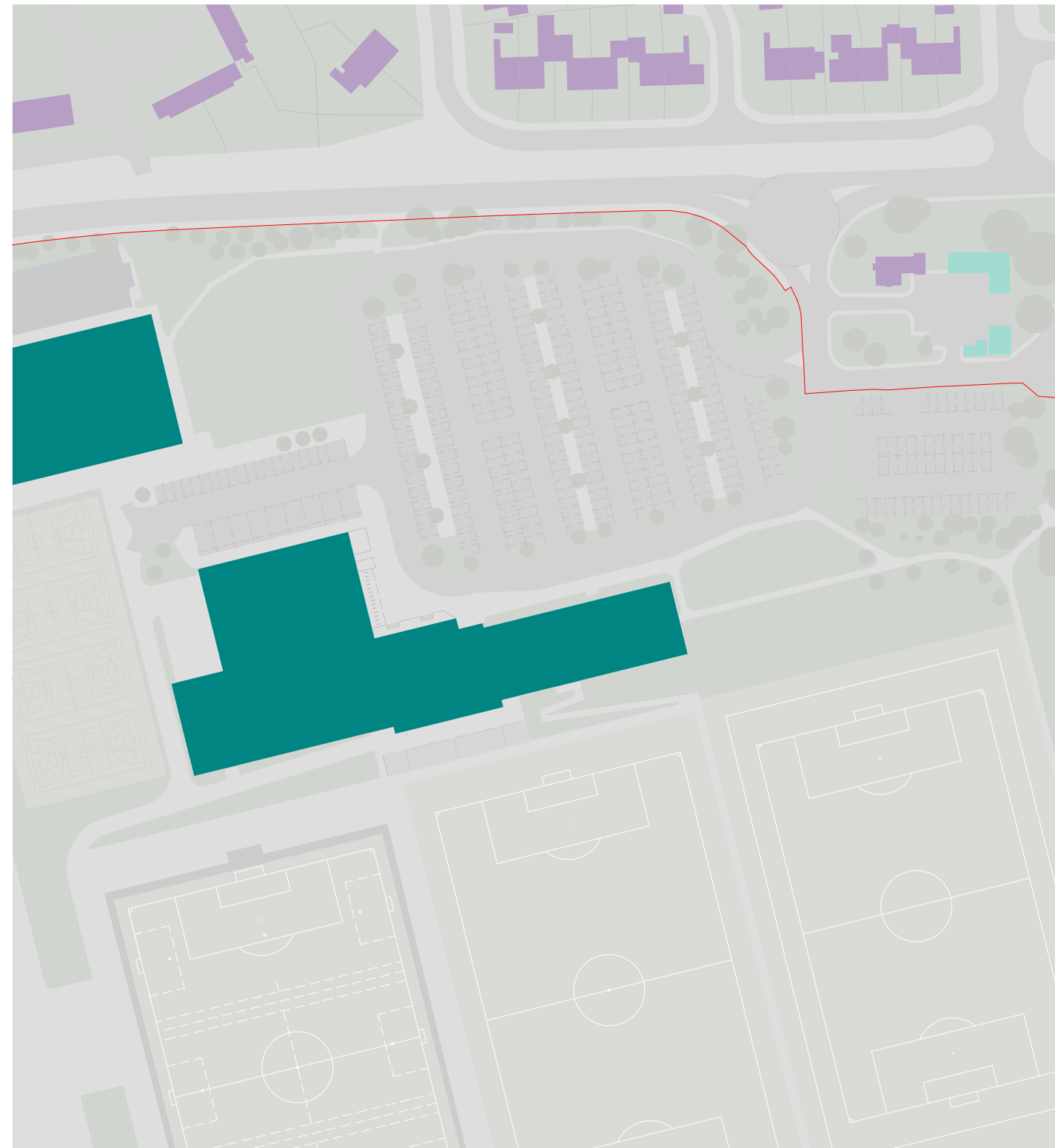






Surrounding Uses

The site and surroundings in many ways set their own context since the Sundorne Sports Village with their various recreational uses predominate. To the north is residential use but this is very much separated from the site by Sundorne Road.

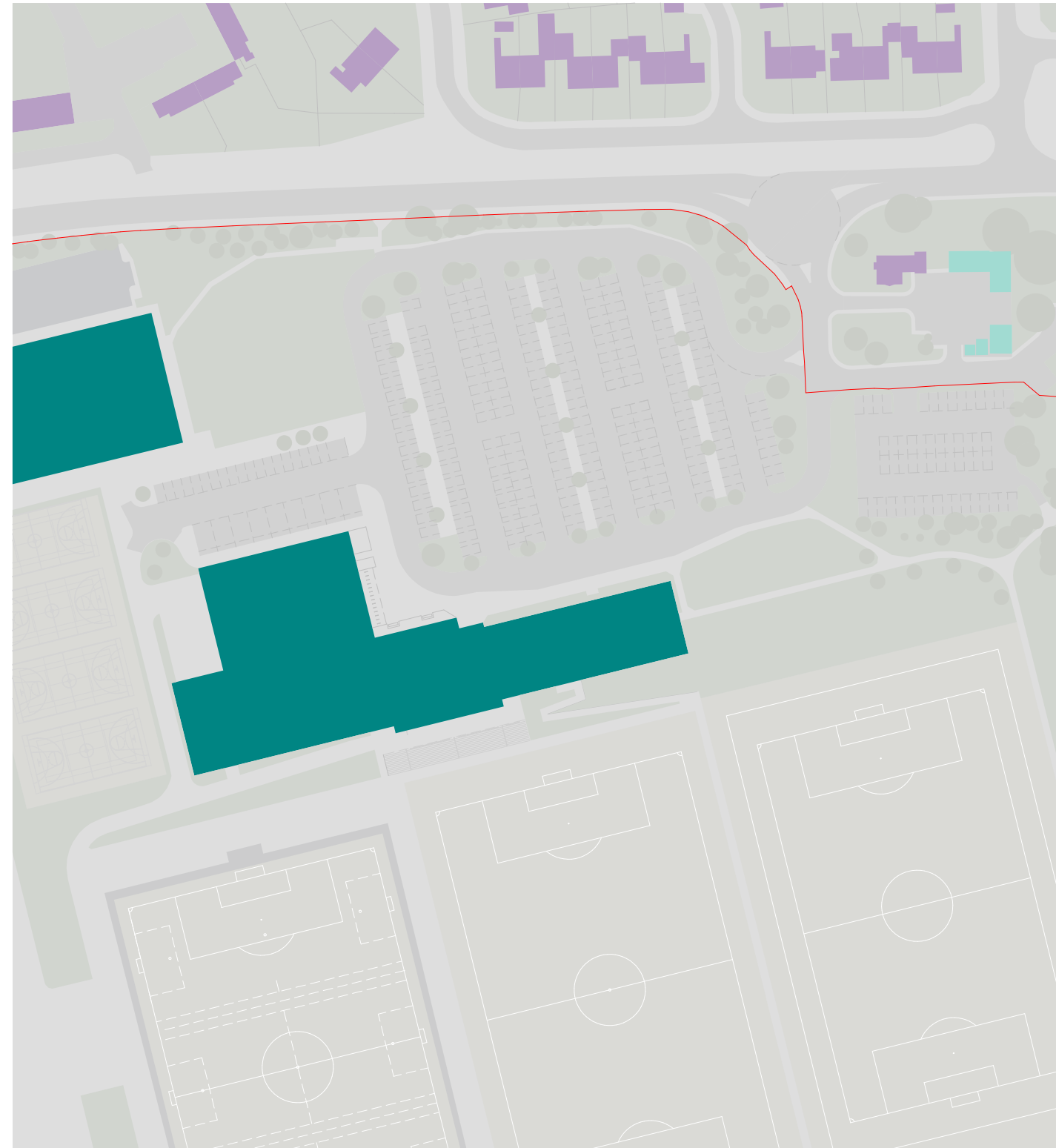


Key

-  Site Boundary
-  Infrastructure
-  Education
-  Recreation, Leisure & The Arts
-  Residential
-  Commercial

Scale & Mass

The scale of the site is relatively low, reflecting the residential nature of this part of the town. The open nature of the site itself does however offer scope for substantial mass without undue effect on surrounding properties - ie overshadowing of homes to the north.



Key

- Site Boundary
- 1- 2 Storeys
- 2- 3 Storeys
- 3- 4 Storeys



Topography

Unlike the Quarry, the Sundorne site is relatively flat, however there is a relatively steep drop directly to the south of the current leisure centre building which requires a significant flight of steps and extensive ramping to reach the sports pitches. This may therefore affect any new proposed building if it is located in this vicinity.



Key

- Site Boundary
- +49-50 AOD
- +53-54 AOD
- +57-58 AOD
- +61-62 AOD
- +65-66 AOD

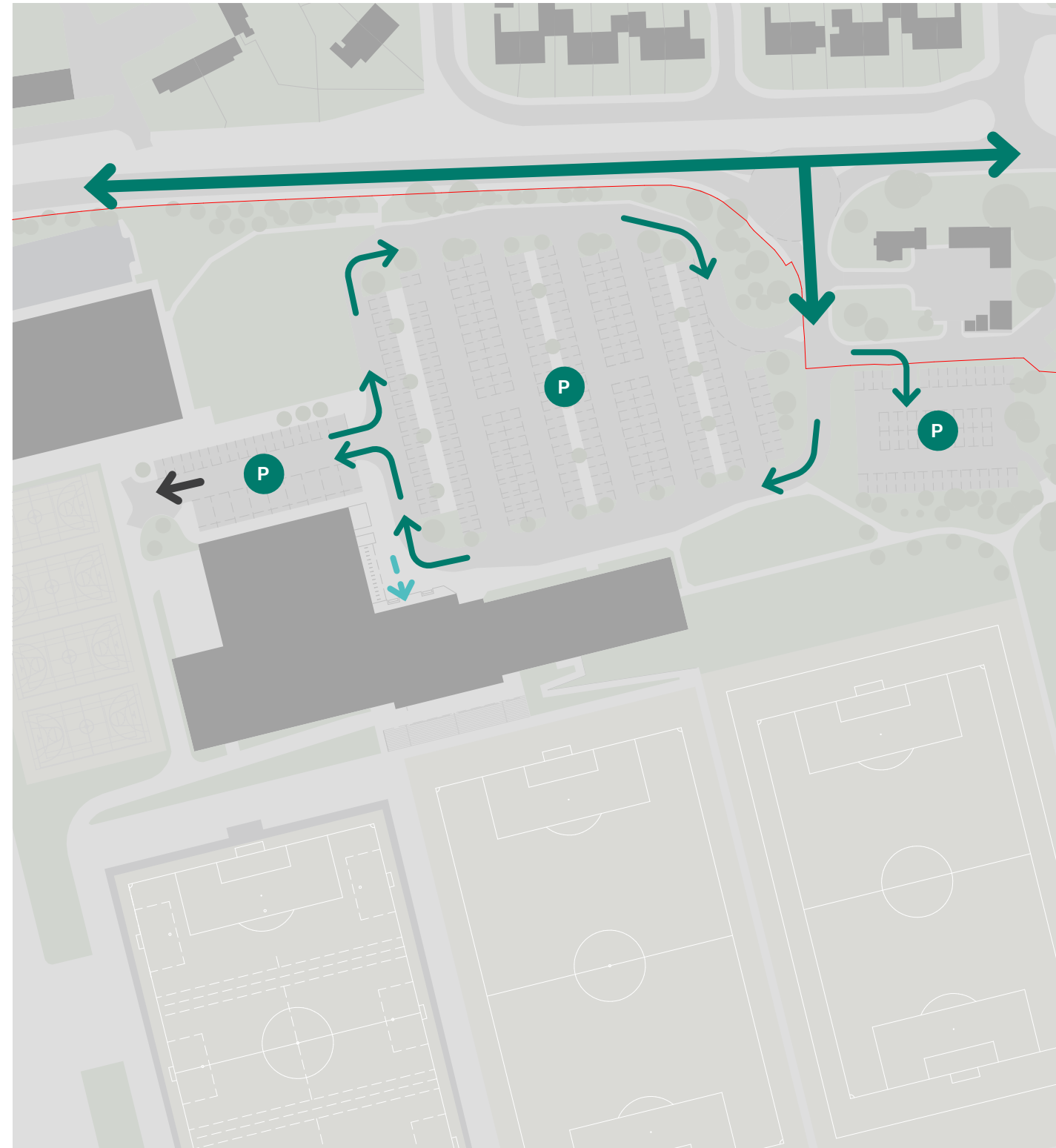
# The Sites

## Site Analysis - Sundorne

### Access & Servicing

Vehicular access to the site is via Sundorne Road. There are three car parks, the largest being in the central portion and providing a significant number of disabled bays as well as some motorcycle bays.

Pedestrian access is free-flowing around the site, with the main entrance being to the north-east and directly adjacent to the central car park.



### Key

- Site Boundary
- ➔ Vehicular Route (Service)
- ➔ Vehicular Route (Private)
- ➔ Vehicular Route (Public)
- ➔ Pedestrian Route
- Ⓟ Car Park (Private)
- Ⓟ Car Park (Public)

04

# Opportunities & Constraints

## The Sites

### Constraints & Opportunities - The Quarry

#### Constraints

01. Access for construction traffic to the site is difficult and will need to be carefully considered and managed
02. Public parking is limited and may need to be increased, especially to offer adequate disabled parking provision
03. Onward access from the car park to the main entrance is heavily influenced by the site levels, requiring an awkward series of steps/ramps. This should be improved in any proposed scheme
04. There are a number of mature trees adjacent to the site. These should be adequately protected from site activities to ensure their longevity
05. Service access to the east is awkward and heavily constrained, as is the access to the upper parking level which can only be reached via a steep ramp
06. The steep sloping nature of the site presents many challenges for access and connectivity but if well-considered at the outset can become a positive feature of the proposed building

#### Opportunities

07. The main entrance has no street presence, being hidden around the back of the leisure centre. This can be significantly improved to create a greater connection with the streetscape
08. The Priory Road facade can be improved to create a more active elevation that creates visual interest and acts as a 'shopfront' for the services that the leisure centre provides
09. By extension the Priory Road facade can set up a more positive relationship with its context - especially Shrewsbury College to the north and the St John's Ambulance building to the east
10. The cafe is under-utilised and, if given greater presence, particularly in respect of the park, can benefit from the heavy footfall through Quarry park
11. Again, a positive benefit of a more considered approach to the leisure centre will be creating a stronger visual and functional connection with the park to the south
12. Although not part of the site the area directly to the west could be utilised for additional parking and as part of the wider sustainable drainage strategy
13. The potentially large expanse of roof offers the opportunity to enhance sustainable features (such as PVs & green roofing) as well as for functional spaces such as a cafe terrace



## The Sites

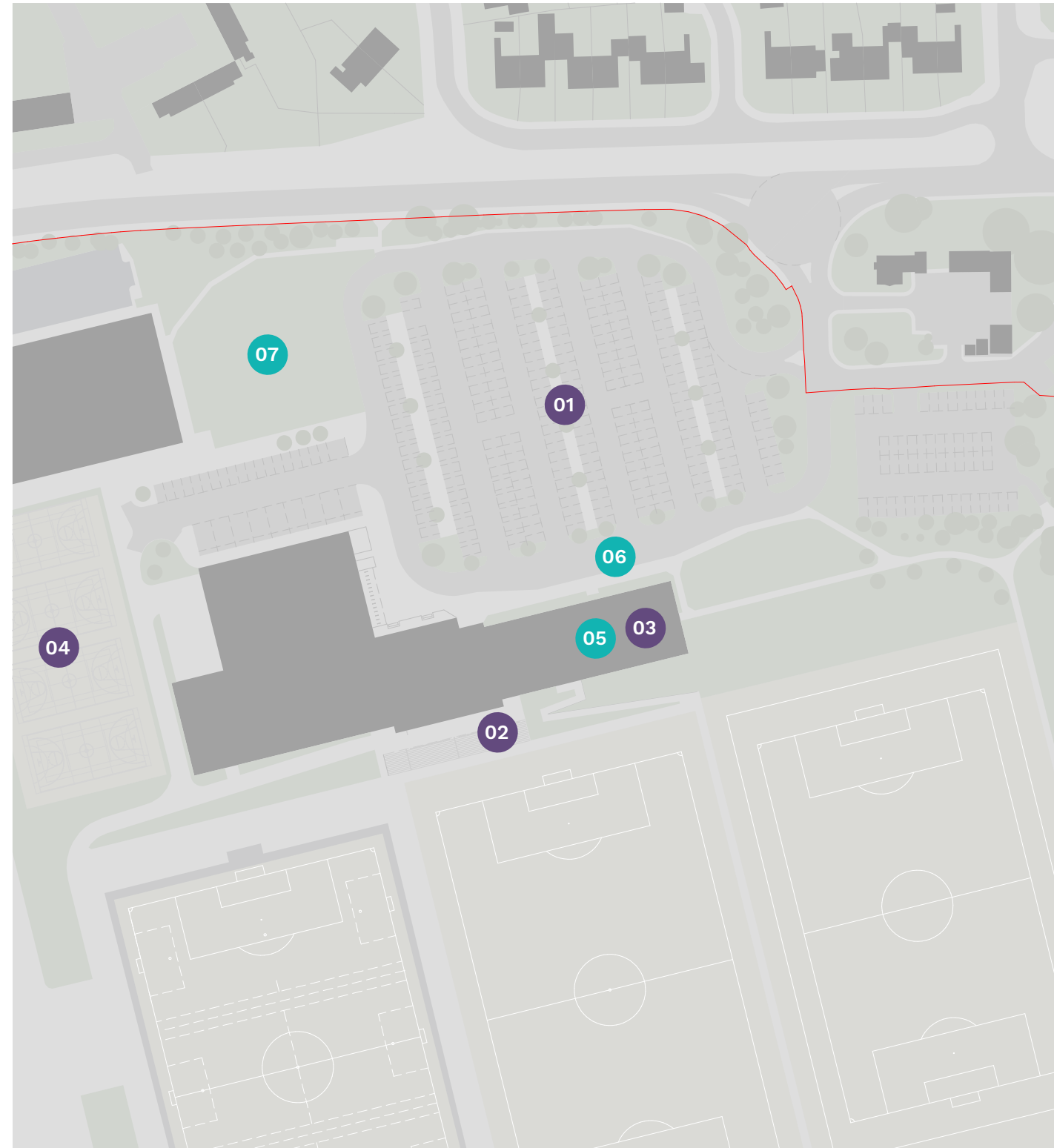
### Constraints & Opportunities - Sundorne

#### Constraints

01. Whilst the car park is a key asset in that it facilitates extensive capacity across the whole of the Sports Village the fact that it is so well-used requires that it remain largely untouched and fully operational throughout the build period
02. Although the levels across the site are by no means extreme there is a significant slope next to the current leisure building. This requires extensive ramping for disabled access and may influence the design of any future facility
03. The eastern end of the leisure building is used for changing and is in frequent operation. This would need to remain fully operational throughout the course of the build
04. The multi-game courts to the west were considered as a potential location for any new facility, however they are very well used and therefore should be retained

#### Opportunities

05. The eastern wing of the building creates the opportunity to create a connected facility and potential to create a second entrance that might provide greater diversity of use/operation
06. The car park ensures that the leisure building and any new offering would be extremely accessible, both to building users and service vehicles (eg the regular delivery of pool chemicals)
07. The open area to the north-west creates the opportunity to extend parking facilities to serve the increased use. The need for more parking should be assessed by the council, the operator and/or a transport consultant



04

Option 1

*Quarry - Competition facilities*

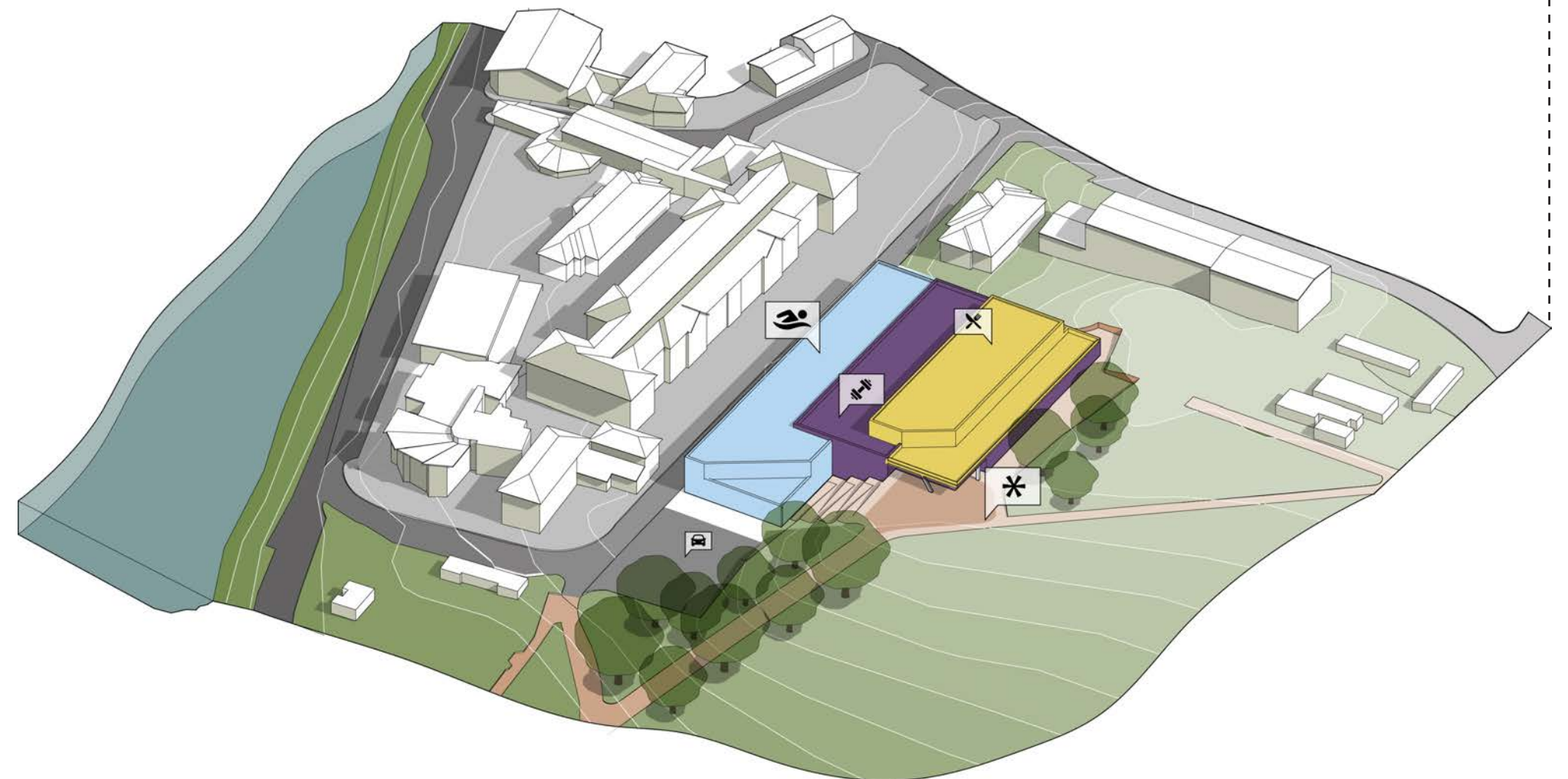
*Sundorne - Temporary swimming facilities*

OPTION ONE THE QUARRY - COMPETITION & TRAINING OFFERING

## THE BRIEF

To provide enhanced competition swimming and fitness facilities at the Quarry site alongside appropriate parkside food and beverage offerings.

- 25 x 8 lane county standard competition pool (25 x 17m)
- 15 x 8m leisure pool and leisure water
- Change Village
- 80 station fitness suite
- 2 x fitness studios
- 1 x spin studio
- Dry Changing facilities
- Parkside cafe (50 covers)
- Rooftop Bistro (50 covers)
- Function Room (100 covers)
- Administration Zones
- Plant & support spaces



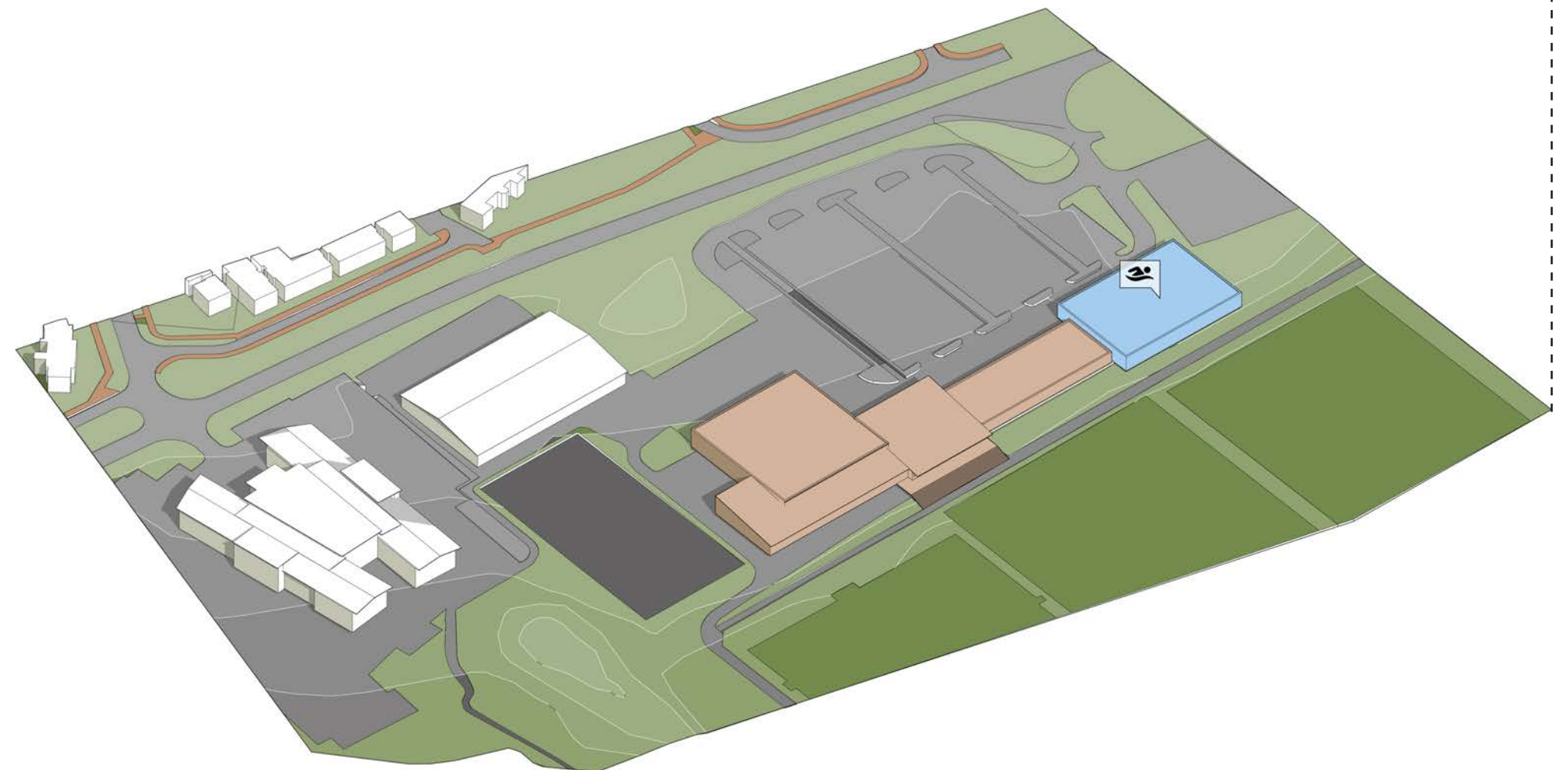


OPTION ONE SUNDORNE - TEMPORARY SWIMMING FACILITIES

## THE BRIEF

Provision of temporary competition facilities at Sundorne for the duration of the construction works at the Quarry. These would then be dismantled following completion of the Quarry build. Temporary facilities would include:

- 25m x 8 lane county standard competition pool (25 x 17m)
- 15 x 8m leisure pool and leisure water
- Change village
- Spectator Seating
- Entrance
- Plant and support spaces





The Quarry

Key assumptions include:

- Cafe provides leisure usage only
- Management/administration functions are required
- Leisure water is minimal, consisting largely of splash pad
- Wet Change is calculated on a pro-rata basis and will need to be confirmed through detailed design based on changing requirements (cubicles, showers, vanity, circulation etc)
- Buffer Changing is provided for group usage (eg schools)
- Spectator viewing is provided for competition level use, though quantum should be agreed based on intended use
- Spin studio included but might be designed as multi-functional studio
- Non-net areas (circulation, lifts, refuse etc) and plant are assumed and would need to be confirmed through detailed design

<b>SCHEDULE OF ACCOMMODATION</b>	<b>POOL FACILITIES</b>	<b>940m<sup>2</sup></b>	Pool hall to include: 25x8 lane county standard pool (25x17m) plus 15 x 8m training pool and 65m <sup>2</sup> leisure water. Overall area includes the surrounding circulation as guided by sport england. Water area approximately 610m <sup>2</sup>
	<b>POOL SUPPORT</b>	<b>91m<sup>2</sup></b>	Including; main pool store, teaching pool store, first aid room and pool cleaners store. Areas have been extracted from sport england model guidance.
	<b>WET CHANGE</b>	<b>421m<sup>2</sup></b>	Including; buggy park, changing cubicles, pool WC's & Showers, buffer change and cleaners store. Areas have been extracted from sport england model D guidance.
	<b>SPECTATOR VIEWING</b>	<b>97m<sup>2</sup></b>	Seating 150 spectators. Areas have been extracted from sport england model D guidance.
	<b>FITNESS SUITE</b>	<b>400m<sup>2</sup></b>	80 station suite. Area based on sport england guidance of 5m <sup>2</sup> per person
	<b>FITNESS STUDIOS</b>	<b>384m<sup>2</sup></b>	2 fitness studios and one spin studio with associated storage facilities. Areas have been extracted from sport england model D guidance.
	<b>DRY CHANGE</b>	<b>140m<sup>2</sup></b>	Provision of male, female and accessible changing rooms with associated WC's and cleaners store. Areas are based on sport england guidance and best practice examples for sanitary provision.
	<b>LEISURE ENTRANCE</b>	<b>292m<sup>2</sup></b>	Including; Entrance hub, reception and entrance WC's. Areas have been extracted from sport england model D guidance and best practice examples for sanitary provision.
	<b>PARKSIDE CAFE</b>	<b>125m<sup>2</sup></b>	Including; cafe seating 50 covers, servery and associated store. Area based on metric handbook guidance for dining facilities.
	<b>ROOFTOP BISTRO</b>	<b>228m<sup>2</sup></b>	Including; bistro seating and cloakroom, kitchen and associated storage. Area based on metric handbook guidance for dining facilities.
	<b>FUNCTION ROOM</b>	<b>200m<sup>2</sup></b>	Multifunction room capable of adding an additional 100 covers to the bistro for events or operating as a separate facility. Area based on metric handbook guidance for dining facilities.
	<b>SOFT PLAY</b>	<b>70m<sup>2</sup></b>	Indicative area associated with the parkside cafe
	<b>ADMINISTRATION</b>	<b>70m<sup>2</sup></b>	Employee office, managers office and associated storage
	<b>TOTAL NIA</b>	<b>3458m<sup>2</sup></b>	
<b>PLANT</b>	<b>409m<sup>2</sup></b>	Internal plant and pool tanking. Areas taken from sport england guidance and best practice examples.	
<b>TOTAL GIA</b>	<b>4,773m<sup>2</sup></b>	Assuming 75% efficiency	

Sundorne

Key assumptions include:

- Front-of-House allowance is nominal, assuming use of existing facilities
- Pool size 25m, 8 lane county standard competition
- Wet Change is calculated on a pro-rata basis and will need to be confirmed through detailed design based on changing requirements (cubicles, showers, vanity, circulation etc)
- Wet change is sized to also facilitate community use
- Buffer Changing is not required
- Spectator viewing is not required owing to this being a temporary provision
- Non-net areas (circulation, lifts, refuse etc) and plant are assumed and would need to be confirmed through detailed design

<b>SCHEDULE OF ACCOMMODATION</b>	<b>POOL FACILITIES</b>	<b>398m<sup>2</sup></b>	Pool hall to include: 25x8 lane county standard pool (25x17m) Overall area includes the surrounding circulation as guided by sport england. Water area approximately 425m <sup>2</sup>
	<b>POOL SUPPORT</b>	<b>40m<sup>2</sup></b>	Including; main pool store, first aid room and pool cleaners store. Areas have been extracted from sport england model guidance.
	<b>SPECTATOR SEATING</b>	<b>97m<sup>2</sup></b>	Seating 150 spectators. Areas have been extracted from sport england model D guidance.
	<b>WET CHANGE</b>	<b>223m<sup>2</sup></b>	Including; changing cubicles, pool WC's & Showers and cleaners store. Areas have been extracted from sport england model D guidance.
	<b>LEISURE ENTRANCE</b>	<b>25m<sup>2</sup></b>	Assumed minor entrance hub
	<b>TOTAL NIA</b>	<b>796m<sup>2</sup></b>	
	<b>PLANT</b>	<b>150m<sup>2</sup></b>	Internal plant and pool tanking. Assumed - to be confirmed by a specialist
	<b>TOTAL GIA</b>	<b>1,155m<sup>2</sup></b>	Assuming 80% efficiency



## POSITIVES

### Option 1 - The Quarry

- Continuity of competition facilities in the town centre
- Ease of access for residents within Shrewsbury
- Wide variety of facilities for swimmers of all standards

### Option 1 - Sundorne

- Low impact facility which will not impede the current operation of Sundorne Sports Village
- Relatively short construction time which can be accommodated during design development stages for the Quarry
- Enables competition swimming to be consistently provided in Shrewsbury whilst the Quarry is upgraded.

### RESPONSE TO CRITICAL SUCCESS FACTOR - PRIORITY 1

"The need to develop a high quality town centre leisure destination that is cost effective, meets the needs of resident and is in line with the Leisure Facilities Strategy and the Shrewsbury 'Big Town Plan'"

**Option 1 provides the largest variety of swimming facilities in one central location and would effectively meet the current needs of residents. However, the leisure facilities strategy acknowledges that this is not the ideal location for competition facilities due to its constrained access routes and limited parking. The size of water facilities also limits its capacity to contribute to the surrounding public realm in accordance with the overarching principles of the big town plan.**

**In addition to this the necessity of constructing temporary facilities at Sundorne for the duration of the construction process would likely be a costly addition to this scheme with limited future reward. This option is probably the least sustainable solution as it is unlikely that the building will be able to offset the embodied carbon used in construction due to its limited quality and length of operation. It is therefore unlikely to support many of the core principles of the Big Town Plan of the Leisure Facilities Strategy.**

### RESPONSE TO CRITICAL SUCCESS FACTOR - PRIORITY 2

"Subject to the findings of the RIBA stage 01 report (ref site capacity and capabilities), explore whether the leisure facility can facilitate the development of complimentary uses, partnerships and/or commercial opportunities in line with the 'Big Town Plan' that maximise the potential of the site and reflect it's unique setting in the town."

**The facilities mix in Option 1 requires the largest built footprint which would likely limit its ability to include additional complimentary uses which would maximise its setting on the park.**

## NEGATIVES

### Option 1 - The Quarry

- Necessity to construct temporary swimming facilities at Sundorne for the duration of the construction at the Quarry
- Access to the site for large vehicles is highly constrained which may cause problems when competitions are held
- Parking is limited which is not ideal for a competition facility
- Leisure water is limited in size due to the size of other facilities
- The size of swimming facilities requires a very large built footprint which limits its capacity to enhance the surrounding public realm
- Size of facilities is likely to limit the ability of the design to accommodate additional uses such as spa facilities

### Option 1 - Sundorne

- No long term improvements to Sundorne Facilities
- Capital cost cannot be recuperated through operational revenue as the facility will not be open long enough to realise any such benefits
- Need to dismantle the building after use
- Relatively unsustainable solution as unnecessary embodied carbon will be utilised in the construction process and the building will be unlikely to contribute positively to its environment whilst operational
- Relatively low quality solution which is unlikely to enhance the offering at the Sports Village.

**05**

## Option 2

*Quarry - Leisure facilities*

*Sundorne - Separate, permanent competition facilities*

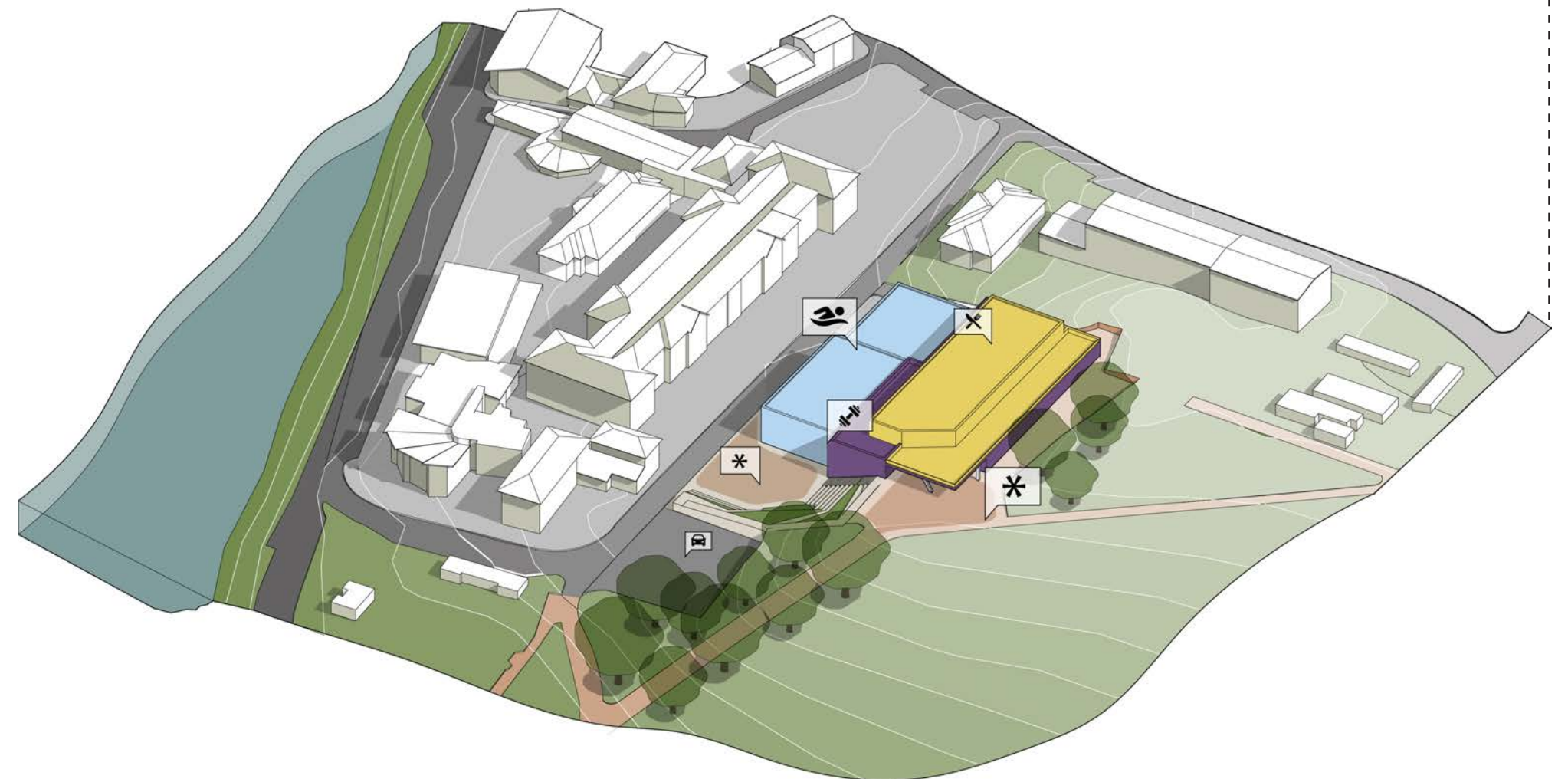


OPTION TWO THE QUARRY - LEISURE AND LEARNER OFFERING

## THE BRIEF

To provide leisure water and learner facilities at the Quarry with competition facilities located at Sundorne. Quarry facilities to include:

- 20m x 10m learner pool
- Leisure water (circa 450m<sup>2</sup>)
- Change village
- 80 station fitness suite
- 2 x fitness studios
- 2 x spin studio
- Dry changing facilities
- Parkside Cafe (50 covers)
- Rooftop Bistro (50 covers)
- Function Room (100 covers)
- Administration zones
- Plant & Support spaces



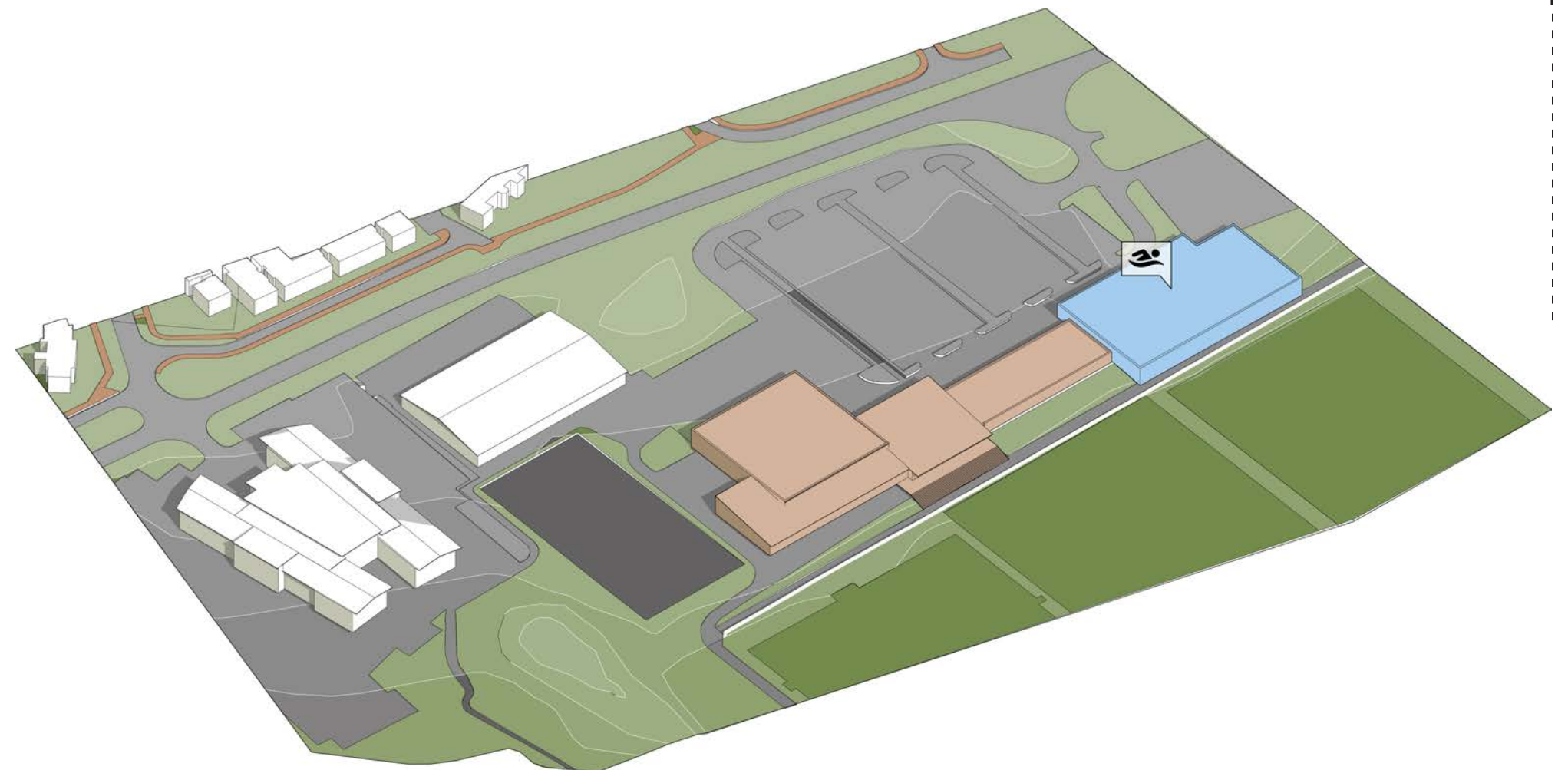


OPTION TWO SUNDORNE - SEPARATE PERMANENT SWIMMING FACILITIES

## THE BRIEF

Provision of permanent competition swimming facilities located separately from the main building at Sundorne. Facilities to include:

- 25 x 8 lane pool
- 17 x 10 training pool
- Changing facilities
- Spectator seating
- Entrance
- Plant and support spaces



The Quarry

Key assumptions include:

- Cafe provides leisure usage only
- Management/administration functions are required
- Leisure water is assumed and would need to be confirmed through detailed design (by specialist)
- Wet Change is calculated on a pro-rata basis and will need to be confirmed through detailed design based on changing requirements (cubicles, showers, vanity, circulation etc)
- Buffer Changing is not required
- Spectator viewing is not required
- Spin studio included but might be designed as multi-functional studio
- Non-net areas (circulation, lifts, refuse etc) and plant are assumed and would need to be confirmed through detailed design

<b>SCHEDULE OF ACCOMMODATION</b>	<b>POOL FACILITIES</b>	<b>825m<sup>2</sup></b>	Pool hall to include: 20x10m pool plus 295m <sup>2</sup> leisure water. Overall area includes the surrounding circulation as guided by sport england. Water area approximately 495m <sup>2</sup>
	<b>POOL SUPPORT</b>	<b>40m<sup>2</sup></b>	Including; main pool store, teaching pool store, first aid room and pool cleaners store. Areas have been extracted from sport england model guidance.
	<b>WET CHANGE</b>	<b>315m<sup>2</sup></b>	Including; buggy park, changing cubicles, pool WC's & Showers, buffer change and cleaners store. Areas have been extracted from sport england model D guidance.
	<b>FITNESS SUITE</b>	<b>400m<sup>2</sup></b>	80 station suite. Area based on sport england guidance of 5m <sup>2</sup> per person
	<b>FITNESS STUDIOS</b>	<b>384m<sup>2</sup></b>	2 fitness studios and one spin studio with associated storage facilities. Areas have been extracted from sport england model D guidance.
	<b>DRY CHANGE</b>	<b>140m<sup>2</sup></b>	Provision of male, female and accessible changing rooms with associated WC's and cleaners store. Areas are based on sport England guidance and best practice examples for sanitary provision.
	<b>LEISURE ENTRANCE</b>	<b>281m<sup>2</sup></b>	Including; Entrance hub, reception and entrance WC's. Areas have been extracted from sport england model A guidance and best practice examples for sanitary provision.
	<b>PARKSIDE CAFE</b>	<b>125m<sup>2</sup></b>	Including; cafe seating 50 covers, servery and associated store. Area based on metric handbook guidance for dining facilities.
	<b>ROOFTOP BISTRO</b>	<b>228m<sup>2</sup></b>	Including; bistro seating and cloakroom, kitchen and associated storage. Area based on metric handbook guidance for dining facilities.
	<b>FUNCTION ROOM</b>	<b>200m<sup>2</sup></b>	Multifunction room capable of adding an additional 100 covers to the bistro for events or operating as a separate facility. Area based on metric handbook guidance for dining facilities.
	<b>SOFT PLAY</b>	<b>70m<sup>2</sup></b>	Indicative area associated with the parkside cafe
	<b>ADMINISTRATION</b>	<b>70m<sup>2</sup></b>	Employee office, managers office and associated storage
	<b>TOTAL NIA</b>	<b>3078m<sup>2</sup></b>	
	<b>PLANT</b>	<b>346m<sup>2</sup></b>	Internal plant and pool tanking. Areas taken from sport england guidance and best practice examples.
<b>TOTAL GIA</b>	<b>4,213m<sup>2</sup></b>	Assuming 75% efficiency	

Sundorne

Key assumptions include:

- Front-of-House allowance is nominal, assuming use of existing facilities
- Pool size 25m, 8 lane county standard competition
- Wet Change is calculated on a pro-rata basis and will need to be confirmed through detailed design based on changing requirements (cubicles, showers, vanity, circulation etc)
- Wet change is sized to also facilitate community use
- Buffer Changing is not required
- Spectator viewing is not required owing to this being a temporary provision
- Non-net areas (circulation, lifts, refuse etc) and plant are assumed and would need to be confirmed through detailed design

<b>SCHEDULE OF ACCOMMODATION</b>	<b>POOL FACILITIES</b>	<b>900m<sup>2</sup></b>	Pool hall to include: 25x8 lane county standard pool (25x17m) plus 17 x 10m teaching pool. Overall area includes the surrounding circulation as guided by sport england. Water area approximately 595m <sup>2</sup>
	<b>POOL SUPPORT</b>	<b>96m<sup>2</sup></b>	Including; main pool store, teaching pool store, first aid room and pool cleaners store. Areas have been extracted from sport england model guidance.
	<b>SPECTATOR SEATING</b>	<b>97m<sup>2</sup></b>	Seating 150 spectators. Areas have been extracted from sport england model D guidance.
	<b>WET CHANGE</b>	<b>406m<sup>2</sup></b>	Including; buggy park, changing cubicles, pool WC's & Showers, buffer change and cleaners store. Areas have been extracted from sport england model D guidance.
	<b>LEISURE ENTRANCE</b>	<b>107m<sup>2</sup></b>	Assumed smaller entrance hub. area includes front of house WC's and store.
	<b>TOTAL NIA</b>	<b>1606m<sup>2</sup></b>	
	<b>PLANT</b>	<b>346m<sup>2</sup></b>	Internal plant and pool tanking. Assumed - to be confirmed by a specialist
	<b>TOTAL GIA</b>	<b>2,373m<sup>2</sup></b>	Assuming 80% efficiency



## POSITIVES

### Option 2 - The Quarry

- Reduced water offering requires the smallest built footprint which allows the building more opportunity to positively contribute to the surrounding public realm
- Water offering based around family swimming is more in keeping with the setting beside the park
- Increased leisure water provides a new attraction in the town centre and encourages footfall in and around the site
- Lack of competition facilities provides the opportunity to promote this site as part of the wider sustainable travel agenda within the Big Town Plan.

### Option 2 - Sundorne

- Separate facility which will not largely impede the current operation of Sundorne Sports Village
- Placement of competition facilities in a location which is accessible from Shrewsbury and other surrounding towns and villages
- Placement of competition facilities in a location better equipped to deal with the parking implications of competition swimming
- Creation of a new attraction at Sundorne which may improve the fitness offering and thus make the facility more popular
- No disturbance to the existing facilities such as team change and the academy.

### RESPONSE TO CRITICAL SUCCESS FACTOR - PRIORITY 1

"The need to develop a high quality town centre leisure destination that is cost effective, meets the needs of resident and is in line with the Leisure Facilities Strategy and the Shrewsbury 'Big Town Plan'"

**Option 2 provides the smallest variety of swimming facilities focussing on family and learner swimming. Whilst this does create a town centre attraction which is more in keeping with its location on the park, the significantly reduced water offering may be less popular with local residents and offers no potential for lane swimming. The size of this facility will enable the building to more appropriately contribute to the surrounding public realm and can be promoted as part of the sustainable travel agenda as the reduced leisure offering would be more appropriate to reach via public transport or as a pedestrian.**

The opportunity to offer a new facility at Sundorne and therefore improve the variety of fitness and training opportunities in the area is in keeping with the economic and social objectives of the big town plan allowing the diversification of facilities across Shropshire. However, the creation of an entirely separate facility at Sundorne is limiting as it does not create the opportunity for a more holistic redevelopment of the current fitness facilities as identified in the Leisure Facilities Strategy and would rely on reconfiguration of the existing building in order to achieve this aim.

### RESPONSE TO CRITICAL SUCCESS FACTOR - PRIORITY 2

"Subject to the findings of the RIBA stage 01 report (ref site capacity and capabilities), explore whether the leisure facility can facilitate the development of complimentary uses, partnerships and/or commercial opportunities in line with the 'Big Town Plan' that maximise the potential of the site and reflect it's unique setting in the town."

**The facilities mix in Option 2 requires a much reduced footprint and as such there is potential to consider additional uses which would compliment the more family-orientated offering.**

## NEGATIVES

### Option 2 - The Quarry

- Reduced water offering provides the most limited swimming facilities and may reduce the number and variety of users
- Significant limitation to water offering may cause objections from the Public

### Option 2 - Sundorne

- Separate facility does not provide the impetus to reinvigorate the existing facilities
- Separate facility further elongates the main building creating a long, undesirable circulatory route
- New fitness facilities cannot be accommodated adjacent to the changing block without building on top of the pool and therefore the recommended fitness improvements would need to be made within the existing building
- Excavation would be required to accommodate plant
- Separate facilities may create operational challenges and will be less efficient than facilities integrated with the existing infrastructure
- The addition of new facilities to the Sports Village site will require careful consideration of the current parking provision which is currently well utilised at weekends



06

## Option 3

*Quarry - Leisure & training facilities*

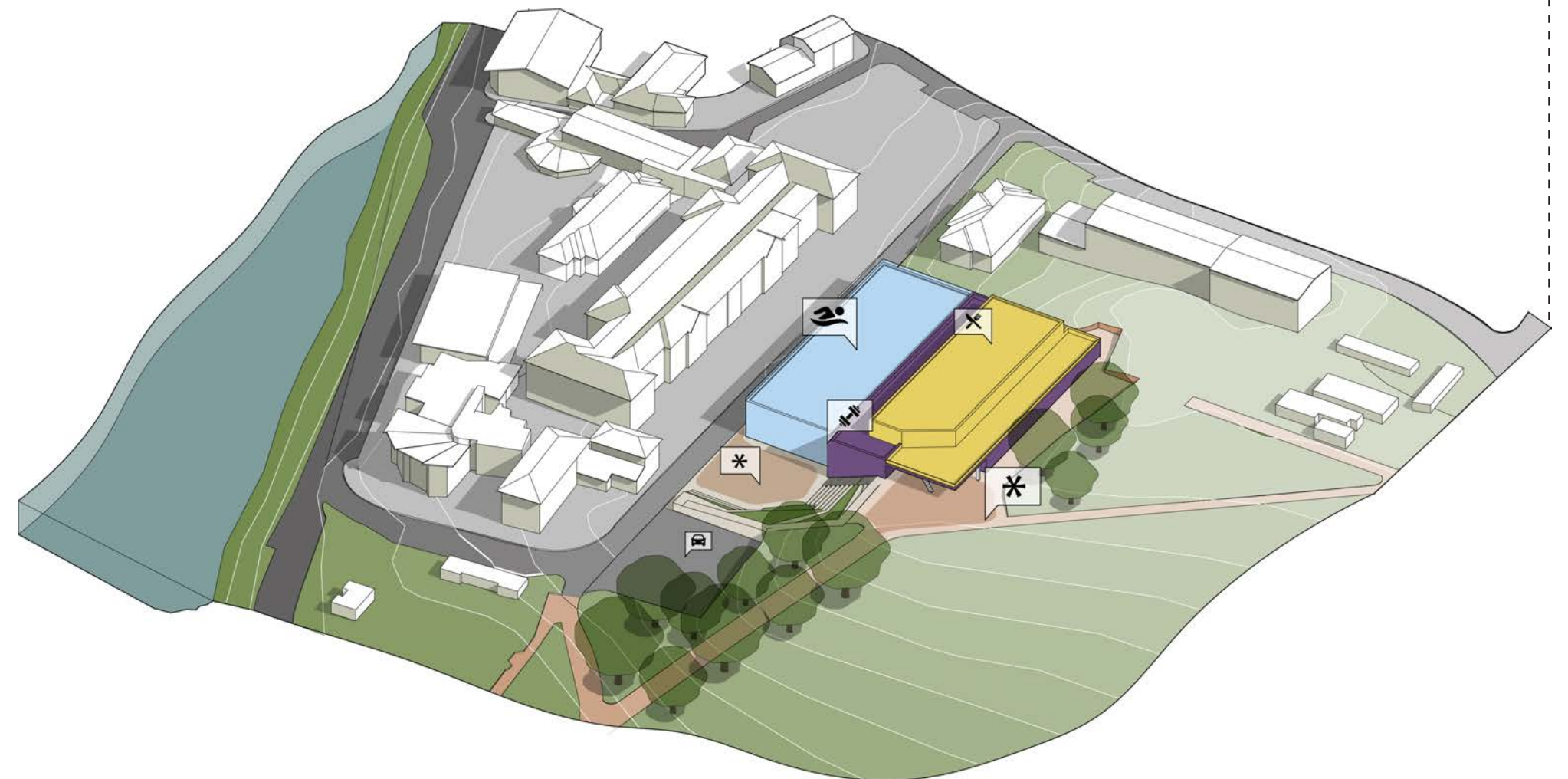
*Sundorne - Separate, permanent competition facilities*

OPTION THREE THE QUARRY - LEISURE & TRAINING OFFERING

## THE BRIEF

To provide leisure water, training and learner at the Quarry with competition facilities located at Sundorne. Quarry facilities to include:

- 25m x 4 lane training pool with moveable floor for learners (25 x 9m)
- Leisure Water (circa 450m<sup>2</sup>)
- Change village
- 80 station fitness suite
- 2 x fitness studios
- 2 x spin studio
- Dry changing facilities
- Parkside Cafe (50 covers)
- Rooftop Bistro (50 covers)
- Function Room (100 covers)
- Administration zones
- Plant & Support spaces

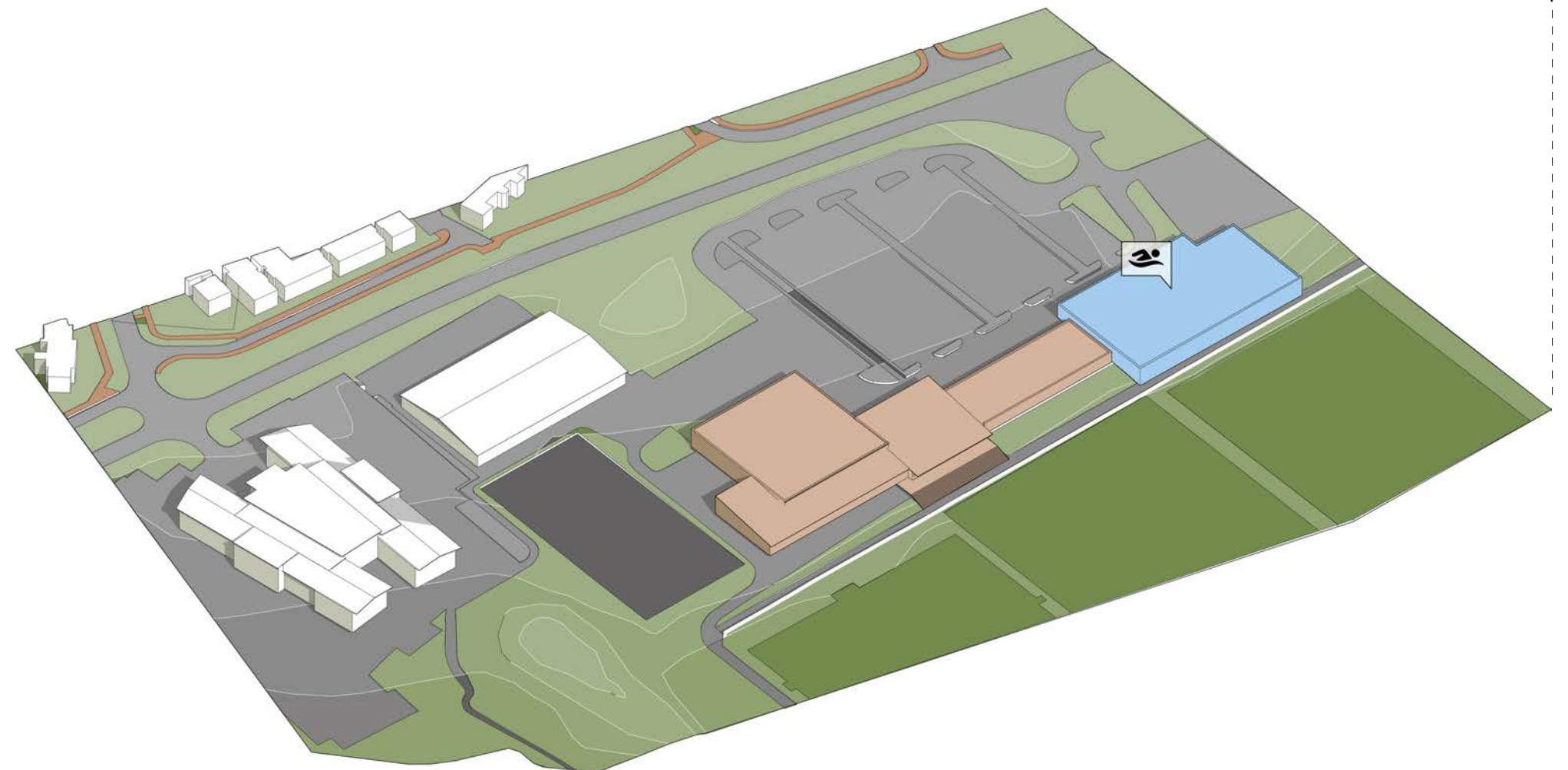


OPTION THREE SUNDORNE - SEPARATE PERMANENT SWIMMING FACILITIES

## THE BRIEF

Provision of permanent competition swimming facilities located separately from the main building at Sundorne. Facilities to include:

- 25 x 8 lane pool
- 17 x 10 training pool
- Changing facilities
- Spectator seating
- Entrance
- Plant and support spaces



The Quarry

Key assumptions include:

- Cafe provides leisure usage only
- Leisure water is assumed and would need to be confirmed through detailed design (by specialist)
- Wet Change is calculated on a pro-rata basis and will need to be confirmed through detailed design based on changing requirements (cubicles, showers, vanity, circulation etc)
- Buffer Changing is provided for group usage (eg schools)
- Spectator viewing is not required
- Spin studio included but might be designed as multi-functional studio
- Non-net areas (circulation, lifts, refuse etc) and plant are assumed and would need to be confirmed through detailed design

<b>SCHEDULE OF ACCOMMODATION</b>	<b>POOL FACILITIES</b>	<b>848m<sup>2</sup></b>	Pool hall to include: 25x4 lane county standard pool (25x9m) plus 295m <sup>2</sup> leisure water. Overall area includes the surrounding circulation as guided by sport england. Water area approximately 520m <sup>2</sup>
	<b>POOL SUPPORT</b>	<b>40m<sup>2</sup></b>	Including; main pool store, teaching pool store, first aid room and pool cleaners store. Areas have been extracted from sport england model guidance.
	<b>WET CHANGE</b>	<b>363m<sup>2</sup></b>	Including; buggy park, changing cubicles, pool WC's & Showers, buffer change and cleaners store. Areas have been extracted from sport england model D guidance.
	<b>FITNESS SUITE</b>	<b>400m<sup>2</sup></b>	80 station suite. Area based on sport england guidance of 5m <sup>2</sup> per person
	<b>FITNESS STUDIOS</b>	<b>384m<sup>2</sup></b>	2 fitness studios and one spin studio with associated storage facilities. Areas have been extracted from sport england model D guidance.
	<b>DRY CHANGE</b>	<b>140m<sup>2</sup></b>	Provision of male, female and accessible changing rooms with associated WC's and cleaners store. Areas are based on sport england guidance and best practice examples for sanitary provision.
	<b>LEISURE ENTRANCE</b>	<b>281m<sup>2</sup></b>	Including; Entrance hub, reception and entrance WC's. Areas have been extracted from sport england model D guidance and best practice examples for sanitary provision.
	<b>PARKSIDE CAFE</b>	<b>125m<sup>2</sup></b>	Including; cafe seating 50 covers, servery and associated store. Area based on metric handbook guidance for dining facilities.
	<b>ROOFTOP BISTRO</b>	<b>228m<sup>2</sup></b>	Including; bistro seating and cloakroom, kitchen and associated storage. Area based on metric handbook guidance for dining facilities.
	<b>FUNCTION ROOM</b>	<b>200m<sup>2</sup></b>	Multifunction room capable of adding an additional 100 covers to the bistro for events or operating as a separate facility. Area based on metric handbook guidance for dining facilities.
	<b>SOFT PLAY</b>	<b>70m<sup>2</sup></b>	Indicative area associated with the parkside cafe
	<b>ADMINISTRATION</b>	<b>70m<sup>2</sup></b>	Employee office, managers office and associated storage
	<b>TOTAL NIA</b>	<b>3149m<sup>2</sup></b>	
	<b>PLANT</b>	<b>346m<sup>2</sup></b>	Internal plant and pool tanking. Areas taken from sport england guidance and best practice examples.
<b>TOTAL GIA</b>	<b>4,301m<sup>2</sup></b>	Assuming 75% efficiency	

Sundorne

Key assumptions include:

- Front-of-House allowance is nominal, assuming use of existing facilities
- Pool size 25m, 8 lane county standard competition
- Wet Change is calculated on a pro-rata basis and will need to be confirmed through detailed design based on changing requirements (cubicles, showers, vanity, circulation etc)
- Wet change is sized to also facilitate community use
- Buffer Changing is not required
- Spectator viewing is not required owing to this being a temporary provision
- Non-net areas (circulation, lifts, refuse etc) and plant are assumed and would need to be confirmed through detailed design

<b>SCHEDULE OF ACCOMMODATION</b>	<b>POOL FACILITIES</b>	<b>900m<sup>2</sup></b>	Pool hall to include: 25x8 lane county standard pool (25x17m) plus 17 x 10m teaching pool. Overall area includes the surrounding circulation as guided by sport england. Water area approximately 595m <sup>2</sup>
	<b>POOL SUPPORT</b>	<b>96m<sup>2</sup></b>	Including; main pool store, teaching pool store, first aid room and pool cleaners store. Areas have been extracted from sport england model guidance.
	<b>SPECTATOR SEATING</b>	<b>97m<sup>2</sup></b>	Seating 150 spectators. Areas have been extracted from sport england model D guidance.
	<b>WET CHANGE</b>	<b>406m<sup>2</sup></b>	Including; buggy park, changing cubicles, pool WC's & Showers, buffer change and cleaners store. Areas have been extracted from sport england model D guidance.
	<b>LEISURE ENTRANCE</b>	<b>107m<sup>2</sup></b>	Assumed smaller entrance hub. area includes front of house WC's and store.
	<b>TOTAL NIA</b>	<b>1606m<sup>2</sup></b>	
	<b>PLANT</b>	<b>346m<sup>2</sup></b>	Internal plant and pool tanking. Assumed - to be confirmed by a specialist
	<b>TOTAL GIA</b>	<b>2,373m<sup>2</sup></b>	Assuming 80% efficiency





## POSITIVES

### Option 3 - The Quarry

- Versatile water offering providing training and leisure opportunities
- Leisure water based around family swimming is more in keeping with the setting beside the park
- Increased leisure water provides a new attraction in the town centre and encourages footfall in and around the site
- Lack of competition facilities provides the opportunity to promote this site as part of the wider sustainable travel agenda within the Big Town Plan.
- Moveable floor provides opportunities for learner and advanced training which can provide for club training, lane swimming and provision of swimming lessons in the town centre with minimal impact on the spatial requirements for the wet leisure offering.

### Option 3 - Sundorne

- Separate facility which will not largely impede the current operation of Sundorne Sports Village
- Placement of competition facilities in a location which is accessible from Shrewsbury and other surrounding towns and villages
- Placement of competition facilities in a location better equipped to deal with the parking implications of competition swimming
- Creation of a new attraction at Sundorne which may improve the fitness offering and thus make the facility more popular
- No disturbance to the existing facilities such as team change and the academy.

### RESPONSE TO CRITICAL SUCCESS FACTOR - PRIORITY 1

"The need to develop a high quality town centre leisure destination that is cost effective, meets the needs of resident and is in line with the Leisure Facilities Strategy and the Shrewsbury 'Big Town Plan'"

**Option 3 provides a wide variety of swimming facilities, offering improved leisure water alongside a pool which can be used both for learners and more advanced swimmers. This facility would provide the most versatile offering, and appeal to the widest variety of swimmers. This increases the likelihood of activation and improved usage from the public. The spatial impact of the additional pool is minimal and as such the building is still able to contribute to the surrounding public realm.**

The opportunity to offer a new facility at Sundorne and therefore improve the variety of fitness and training opportunities in the area is in keeping with the economic and social objectives of the big town plan allowing the diversification of facilities across Shropshire. However, the creation of an entirely separate facility at Sundorne is limiting as it does not create the opportunity for a more holistic redevelopment of the current fitness facilities as identified in the Leisure Facilities Strategy and would rely on reconfiguration of the existing building in order to achieve this aim.

### RESPONSE TO CRITICAL SUCCESS FACTOR - PRIORITY 2

"Subject to the findings of the RIBA stage 01 report (ref site capacity and capabilities), explore whether the leisure facility can facilitate the development of complimentary uses, partnerships and/or commercial opportunities in line with the 'Big Town Plan' that maximise the potential of the site and reflect it's unique setting in the town."

**The facilities mix in Option 3 requires a similarly reduced footprint and as such there is potential to consider additional uses which would compliment the more family-orientated offering.**

## NEGATIVES

### Option 3 - The Quarry

- **Reduced water offering provides more limited facilities than currently exist and therefore may be subject to objections**

### Option 3 - Sundorne

- **Separate facility does not provide the impetus to reinvigorate the existing facilities**
- **Separate facility further elongates the main building creating a long, undesirable circulatory route**
- **New fitness facilities cannot be accommodated adjacent to the changing block without building on top of the pool and therefore the recommended fitness improvements would need to be made within the existing building**
- **Excavation would be required to accommodate plant**
- **Separate facilities may create operational challenges and will be less efficient than facilities integrated with the existing infrastructure**
- **The addition of new facilities to the Sports Village site will require careful consideration of the current parking provision which is currently well utilised at weekends**

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## Option 4

*Quarry - Leisure, training, spa & soft play facilities*

*Sundorne - Separate, permanent competition facilities*

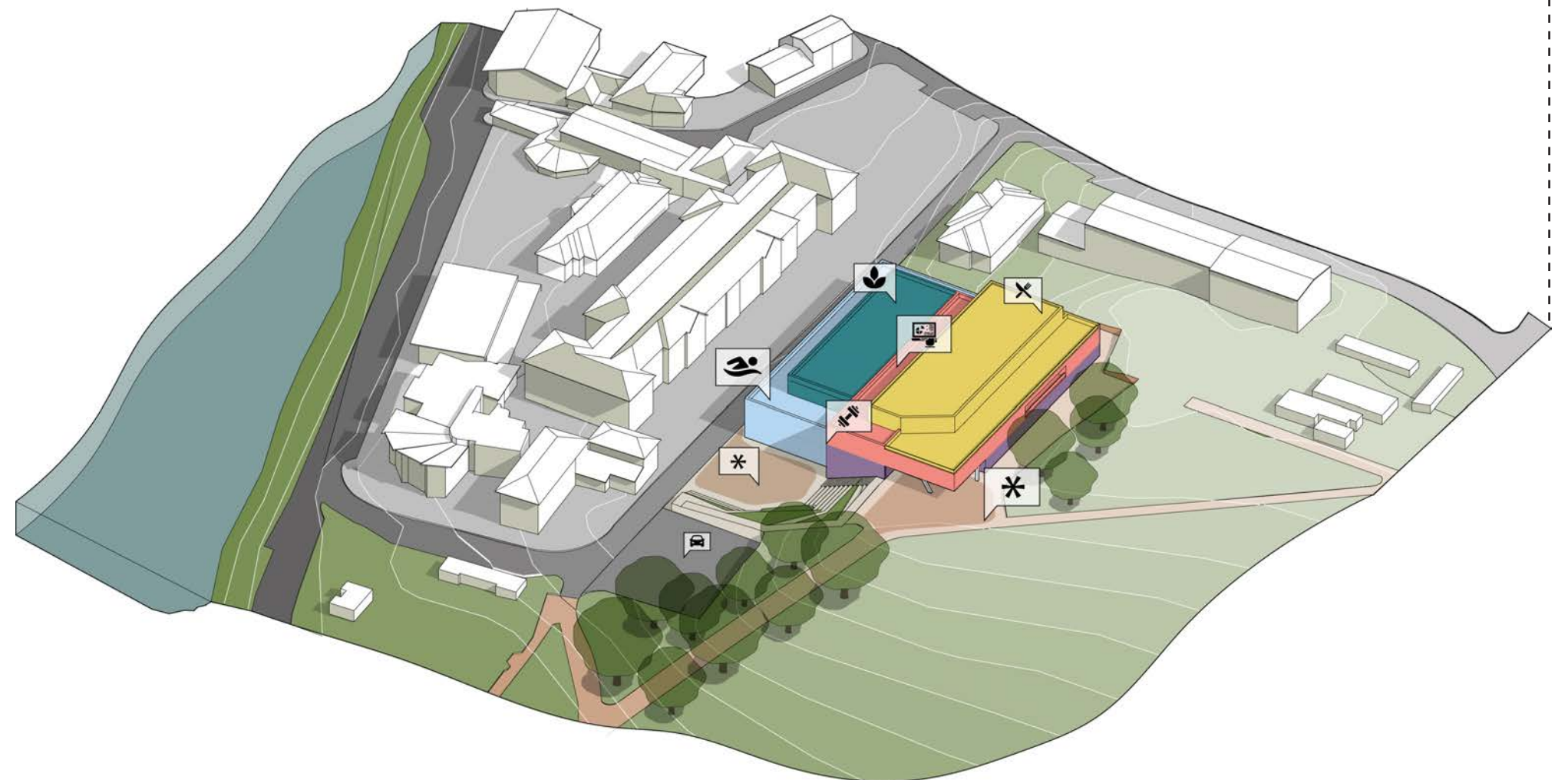


OPTION FOUR THE QUARRY - LEISURE, TRAINING, SPA & WORKSPACE OFFERING

## THE BRIEF

As option 3 leisure facilities with additional complimentary uses at the Quarry. Competition facilities located at Sundorne. Quarry facilities to include:

- 25m x 4 lane training pool with moveable floor for learners (25 x 9m)
- Leisure Water (circa 450m<sup>2</sup>)
- Change village
- 80 station fitness suite
- 2 x fitness studios
- 2 x spin studio
- Dry changing facilities
- Parkside Cafe (50 covers)
- Rooftop Bistro (50 covers)
- Function Room (100 covers)
- Administration zones
- Plant & Support spaces
- Day Spa
- Soft Play

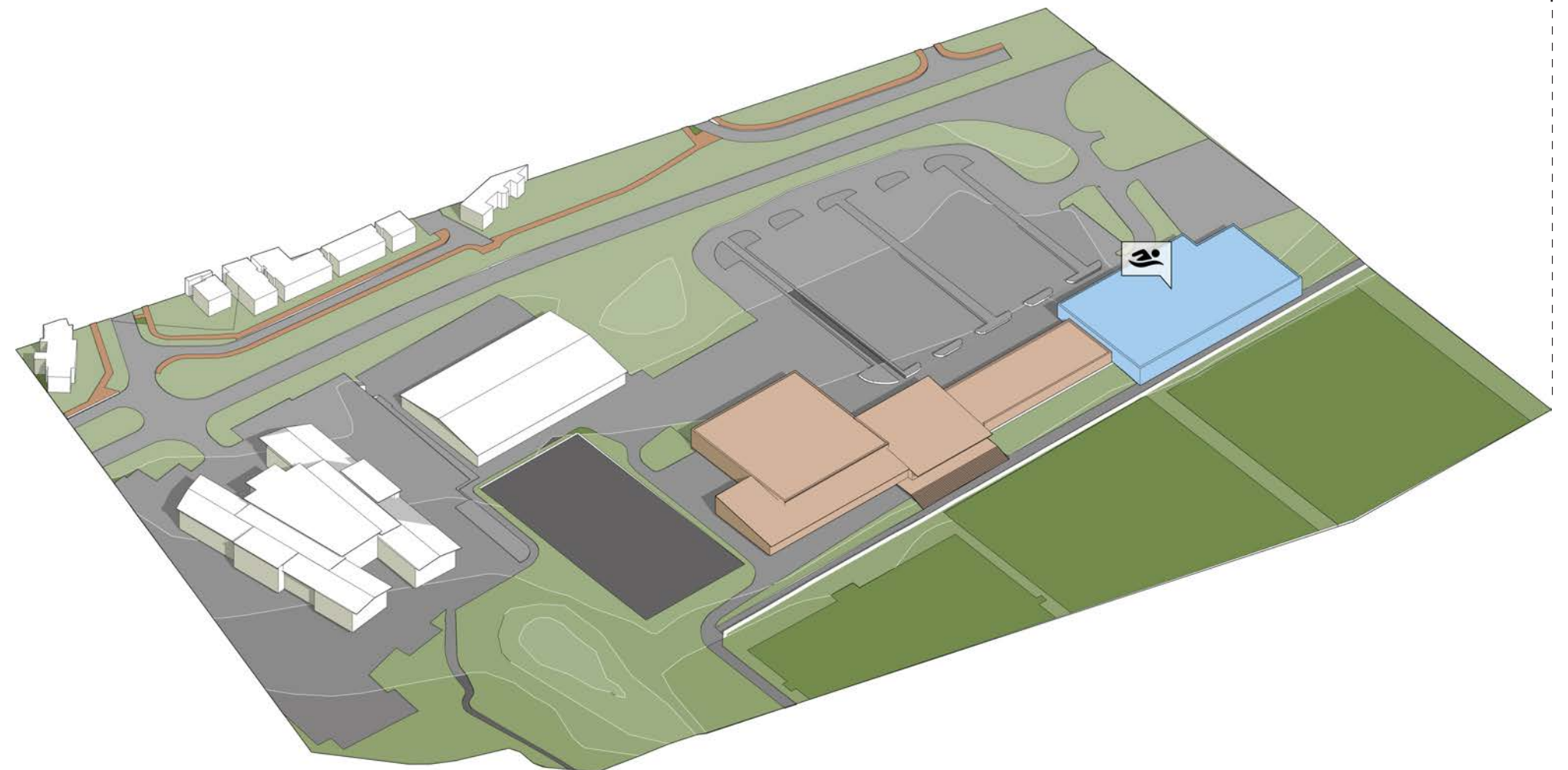


OPTION FOUR SUNDORNE - SEPARATE PERMANENT SWIMMING FACILITIES

## THE BRIEF

Provision of permanent competition swimming facilities located separately from the main building at Sundorne. Facilities to include:

- 25 x 8 lane pool
- 17 x 10 training pool
- Changing facilities
- Spectator seating
- Entrance
- Plant and support spaces



The Quarry

Key assumptions include:

- Cafe provides leisure usage only
- Leisure water is assumed and would need to be confirmed through detailed design (by specialist)
- Wet Change is calculated on a pro-rata basis and will need to be confirmed through detailed design based on changing requirements (cubicles, showers, vanity, circulation etc)
- Buffer Changing is provided for group usage (eg schools)
- Spectator viewing is not required
- Spin studio included but might be designed as multi-functional studio
- Non-net areas (circulation, lifts, refuse etc) and plant are assumed and would need to be confirmed through detailed design

## OPPORTUNITY AREA

The area currently identified as soft play demonstrates the ability of this design to accommodate uses in addition to those identified in the core leisure briefs. This space could have a variety of functions from soft play to workspace and could help to contribute to the vibrant mixed use community within this community building. The specific functionality of this space can be further explored within Stage 02 design through soft market testing and initial operator engagement

SCHEDULE OF ACCOMMODATION	<b>POOL FACILITIES</b>	<b>848m<sup>2</sup></b>	Pool hall to include: 25x4 lane county standard pool (25x9m) plus 295m <sup>2</sup> leisure water. Overall area includes the surrounding circulation as guided by sport england. Water area approximately 520m <sup>2</sup>
	<b>POOL SUPPORT</b>	<b>40m<sup>2</sup></b>	Including; main pool store, teaching pool store, first aid room and pool cleaners store. Areas have been extracted from sport england model guidance.
	<b>WET CHANGE</b>	<b>363m<sup>2</sup></b>	Including; buggy park, changing cubicles, pool WC's & Showers, buffer change and cleaners store. Areas have been extracted from sport england model D guidance.
	<b>FITNESS SUITE</b>	<b>400m<sup>2</sup></b>	80 station suite. Area based on sport england guidance of 5m <sup>2</sup> per person
	<b>FITNESS STUDIOS</b>	<b>384m<sup>2</sup></b>	2 fitness studios and one spin studio with associated storage facilities. Areas have been extracted from sport england model D guidance.
	<b>DRY CHANGE</b>	<b>140m<sup>2</sup></b>	Provision of male, female and accessible changing rooms with associated WC's and cleaners store. Areas are based on sport england guidance and best practice examples for sanitary provision.
	<b>LEISURE ENTRANCE</b>	<b>281m<sup>2</sup></b>	Including; Entrance hub, reception and entrance WC's. Areas have been extracted from sport england model D guidance and best practice examples for sanitary provision.
	<b>PARKSIDE CAFE</b>	<b>125m<sup>2</sup></b>	Including; cafe seating 50 covers, servery and associated store. Area based on metric handbook guidance for dining facilities.
	<b>ROOFTOP BISTRO</b>	<b>228m<sup>2</sup></b>	Including; bistro seating and cloakroom, kitchen and associated storage. Area based on metric handbook guidance for dining facilities.
	<b>FUNCTION ROOM</b>	<b>200m<sup>2</sup></b>	Multifunction room capable of adding an additional 100 covers to the bistro for events or operating as a separate facility. Area based on metric handbook guidance for dining facilities.
	<b>DAY CARE</b>	<b>70m<sup>2</sup></b>	Indicative area associated with the parkside cafe
	<b>ADMINISTRATION</b>	<b>70m<sup>2</sup></b>	Employee office, managers office and associated storage
	<b>OPPORTUNITY / SOFT PLAY</b>	<b>925m<sup>2</sup></b>	Shell and Core space to be fitted out for individual operator requirements
	<b>SPA / WELLNESS</b>	<b>400m<sup>2</sup></b>	Including reception, treatment zone and BOH areas
	<b>TOTAL NIA</b>	<b>4,474m<sup>2</sup></b>	
<b>PLANT</b>	<b>346m<sup>2</sup></b>	Internal plant and pool tanking. Areas taken from sport england guidance and best practice examples.	
<b>TOTAL GIA</b>	<b>5,958m<sup>2</sup></b>	Assuming 75% efficiency	

Sundorne

Key assumptions include:

- Front-of-House allowance is nominal, assuming use of existing facilities
- Pool size 25m, 8 lane county standard competition
- Wet Change is calculated on a pro-rata basis and will need to be confirmed through detailed design based on changing requirements (cubicles, showers, vanity, circulation etc)
- Wet change is sized to also facilitate community use
- Buffer Changing is not required
- Spectator viewing is not required owing to this being a temporary provision
- Non-net areas (circulation, lifts, refuse etc) and plant are assumed and would need to be confirmed through detailed design

<b>SCHEDULE OF ACCOMMODATION</b>	<b>POOL FACILITIES</b>	<b>900m<sup>2</sup></b>	Pool hall to include: 25x8 lane county standard pool (25x17m) plus 17 x 10m teaching pool. Overall area includes the surrounding circulation as guided by sport england. Water area approximately 595m <sup>2</sup>
	<b>POOL SUPPORT</b>	<b>96m<sup>2</sup></b>	Including; main pool store, teaching pool store, first aid room and pool cleaners store. Areas have been extracted from sport england model guidance.
	<b>SPECTATOR SEATING</b>	<b>97m<sup>2</sup></b>	Seating 150 spectators. Areas have been extracted from sport england model D guidance.
	<b>WET CHANGE</b>	<b>406m<sup>2</sup></b>	Including; buggy park, changing cubicles, pool WC's & Showers, buffer change and cleaners store. Areas have been extracted from sport england model D guidance.
	<b>LEISURE ENTRANCE</b>	<b>107m<sup>2</sup></b>	Assumed smaller entrance hub. area includes front of house WC's and store.
	<b>TOTAL NIA</b>	<b>1606m<sup>2</sup></b>	
	<b>PLANT</b>	<b>346m<sup>2</sup></b>	Internal plant and pool tanking. Assumed - to be confirmed by a specialist
	<b>TOTAL GIA</b>	<b>2,373m<sup>2</sup></b>	Assuming 80% efficiency





## POSITIVES

### Option 4 - The Quarry

- Versatile water offering providing training and leisure opportunities
- Leisure water based around family swimming is more in keeping with the setting beside the park
- Increased leisure water provides a new attraction in the town centre and encourages footfall in and around the site
- Lack of competition facilities provides the opportunity to promote this site as part of the wider sustainable travel agenda within the Big Town Plan.
- Moveable floor provides opportunities for learner and advanced training which can provide for club training, lane swimming and provision of swimming lessons in the town centre with minimal impact on the spatial requirements for the wet leisure offering.
- Additional complimentary uses provide more opportunity for the activation of this facility on the park
- Additional facilities provide the potential for customers to extend their visit to the facility thus increasing the likelihood of revenue generation.

### Option 4 - Sundorne

- Separate facility which will not largely impede the current operation of Sundorne Sports Village
- Placement of competition facilities in a location which is accessible from Shrewsbury and other surrounding towns and villages
- Placement of competition facilities in a location better equipped to deal with the parking implications of competition swimming
- Creation of a new attraction at Sundorne which may improve the fitness offering and thus make the facility more popular
- No disturbance to the existing facilities such as team change and the academy.

### RESPONSE TO CRITICAL SUCCESS FACTOR - PRIORITY 1

"The need to develop a high quality town centre leisure destination that is cost effective, meets the needs of resident and is in line with the Leisure Facilities Strategy and the Shrewsbury 'Big Town Plan'"

**Option 4 provides the most versatile leisure offering, appealing to the widest variety of swimmers which increases the likelihood of activation and improved usage from the public. In addition to this the inclusion of additional uses would encourage an even wider variety of users creating potential for users to elongate their visit to the facility. This option would likely best support the objectives of the Big Town Plan by creating a 'destination' within the town centre which would maximise and enhance its natural setting on the Quarry Park.**

The opportunity to offer a new facility at Sundorne and therefore improve the variety of fitness and training opportunities in the area is in keeping with the economic and social objectives of the big town plan allowing the diversification of facilities across Shropshire. However, the creation of an entirely separate facility at Sundorne is limiting as it does not create the opportunity for a more holistic redevelopment of the current fitness facilities as identified in the Leisure Facilities Strategy and would rely on reconfiguration of the existing building in order to achieve this aim.

### RESPONSE TO CRITICAL SUCCESS FACTOR - PRIORITY 2

"Subject to the findings of the RIBA stage 01 report (ref site capacity and capabilities), explore whether the leisure facility can facilitate the development of complimentary uses, partnerships and/or commercial opportunities in line with the 'Big Town Plan' that maximise the potential of the site and reflect it's unique setting in the town."

**Option 4 goes furthest in considering additional uses, transforming the potential of this project from a leisure centric offering to a truly multi-functional hub and has the greatest potential to realise both critical success factors to create a new day and night economy which will compliment both town centre and park environments.**

## NEGATIVES

### Option 4 - The Quarry

- Additional uses will increase the overall area of the facility and therefore the amount of capital investment required for design & construction.
- Additional uses may require multiple stakeholders with different operational models which will need to be managed.

### Option 4 - Sundorne

- Separate facility does not provide the impetus to reinvigorate the existing facilities
- Separate facility further elongates the main building creating a long, undesirable circulatory route
- New fitness facilities cannot be accommodated adjacent to the changing block without building on top of the pool and therefore the recommended fitness improvements would need to be made within the existing building
- Excavation would be required to accommodate plant
- Separate facilities may create operational challenges and will be less efficient than facilities integrated with the existing infrastructure
- The addition of new facilities to the Sports Village site will require careful consideration of the current parking provision which is currently well utilised at weekends

**08**

Design Commentary

The Quarry



## Design Commentary

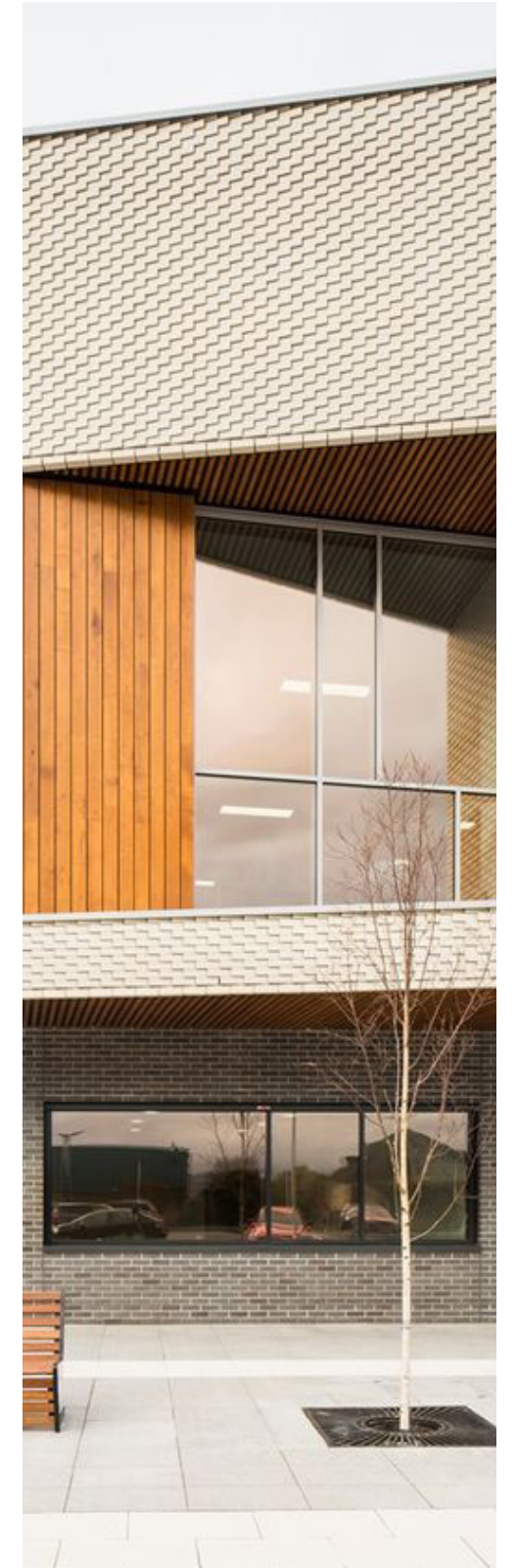
### Stage 02 Considerations

The following pages set out our thoughts on the future development of this project into Stage 02 and beyond. This report assesses the quantum and mix which may be accommodated at the Quarry site but does not attempt to comment on design features which will be covered in the next stage of this process.

However, in carrying out our Stage 01 report we are cognisant of arising design considerations which will influence and enhance the further development of the project.

The following pages set out these arising considerations and demonstrate the potential design opportunities which the site presents. This is subsequently translated into an initial trajectory for the design, showcasing its potential impact on its surroundings and importance as a future attraction to Shrewsbury town centre.

Adjacent we have compiled a selection of different leisure centres, showcasing the type of design which we would target for the Quarry as a landmark development in the heart of the town.







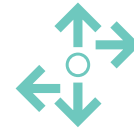
**REUSE OF EXISTING EXCAVATION**

The existing site has already undergone excavation works in order to accommodate the current extensive wet leisure provision and as such gives the design the potential to reuse some or all of this existing excavation for the new design. This could be utilised both to minimise the cut needed for the new wet leisure and potentially create an extra half level on the street frontage where the existing Victorian pools currently reside.



**MULTIPLE ENTRANCE STRATEGY**

Regardless of which option is chosen the design will need to offer multiple entrance points not only to deal with the different levels but also different operators and users. These entrances will need to be carefully considered in order to create a building where navigation is simple and easy to understand. Likewise the circulation strategy must provide clear, visual links to the various uses in order to guide multiple users around the building at once.



**MAXIMISATION OF LEVELS**

The substantial level change between street and park combined with the height required for swimming facilities offers the potential to implement a split level strategy with the street level responding more closely to the surrounding floor to floor heights and the park level accommodating the swimming facilities. This could allow the site to accommodate a larger quantum of development without the massing becoming overpowering.



**ENHANCED PUBLIC REALM**

The design must work closely with the existing, high quality public realm of the park to determine how best to enhance and extend this across the level change and down to the street. It should aim to bring the park into the design, creating an accessible gradient from street to park creating the illusion that one merges into the other. This will allow activation across multiple levels and successfully attract park goers to the facility.



**CENTRALISED CIRCULATION**

In order to successfully navigate the multiple levels and entrance points it will be essential that the design employs a centralised circulation strategy. This can be an animating feature of the design, linking different levels and functions through dynamic visual connections. These spaces are often utilised as a way of bringing additional light into the design which may be beneficial when considering the lower ground floor of this design.



**SPLIT SITE CHARACTER**

The design's facade will need to respond to two different characters; the listed town centre character of the street and the natural character of the park. Good design will be able to address these both separately and together, providing a holistic design which nevertheless acknowledges its dual setting. This should be approached as a true feature of the design, seeing it as an opportunity to recognise the varying character of Shrewsbury in this community building.



**LANDMARK DEVELOPMENT**

The design has the opportunity to become a landmark from two directions; the town centre and the park. As such its architecture has the opportunity to rise to the occasion, creating a contemporary building which will be recognisable to all. This creates a unique opportunity for the facility mix to incorporate a wide variety of uses as the landmark architecture will likely attract more than local swimmers and gym goers.



**SUSTAINABLE DESIGN**

As the design is not constrained by southern surrounding buildings there is good potential for this design to respond to Shropshire Council's sustainability agenda. Although pools require significant heating and ventilation units it is possible to create a sustainable design which will positively contribute both to the health of its users and the health of its environment as well.



**MAXIMISATION OF KEY VIEWS**

The site offers excellent views over the river and parklands which are currently underutilised by the existing architecture. The new design has significant potential to enhance the user experience by making these views accessible and framing them to draw out the beauty of Shrewsbury. In response to this setting the new architecture will also seek to enhance existing views, creating a positive contribution to Shrewsbury town centre.

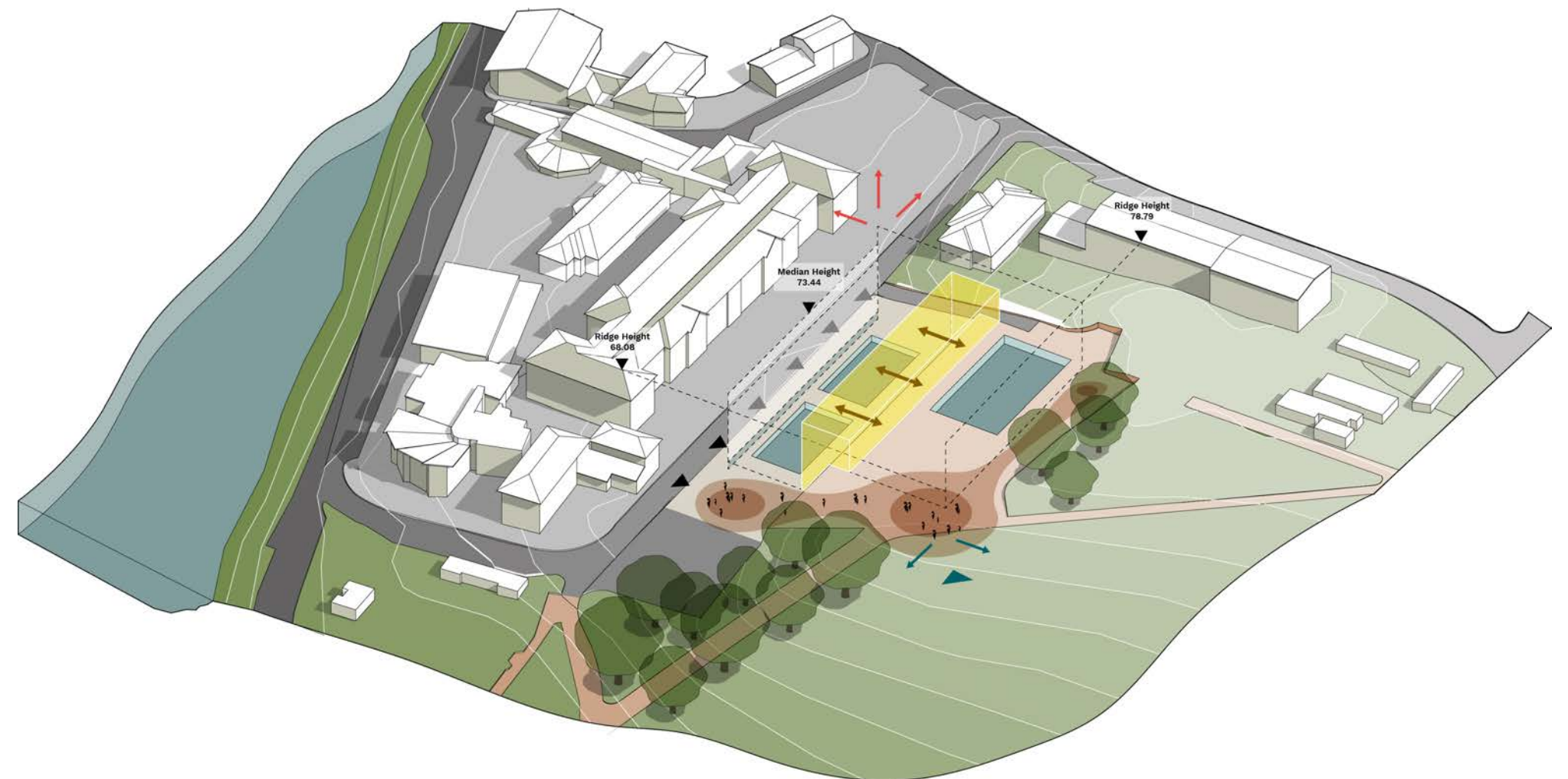


**ACCESS STRATEGY**

The site is highly accessible by public transport and by use of pedestrian walkways and cycle routes and the new design should seek to enhance and promote this as a way of visiting the facility. However, vehicular access must also be considered in order to facilitate servicing vehicles and those who need to arrive by car. Owing to the levels and constrained nature of the street this will need to be carefully considered and designed in the Stage 02 process.

THE QUARRY - KEY DESIGN CONSIDERATIONS FOR FURTHER ANALYSIS AT STAGE 02

- Potential for centralised circulation route linking multiple levels, entrances and function
- Potential for large scale public realm improvements which merge the park and street levels
- Potential to reuse existing excavation to reduce cut or provide an extra half level on the street
- ▼ Surrounding ridge heights provide precedent for additional development quantum on the site
- Potential to create landmark architecture responding to the town centre context
- Potential to create landmark architecture responding to the park context
- ▶ Potential to create new activation directly onto the park
- ▶ Potential to create new activation on the street edge

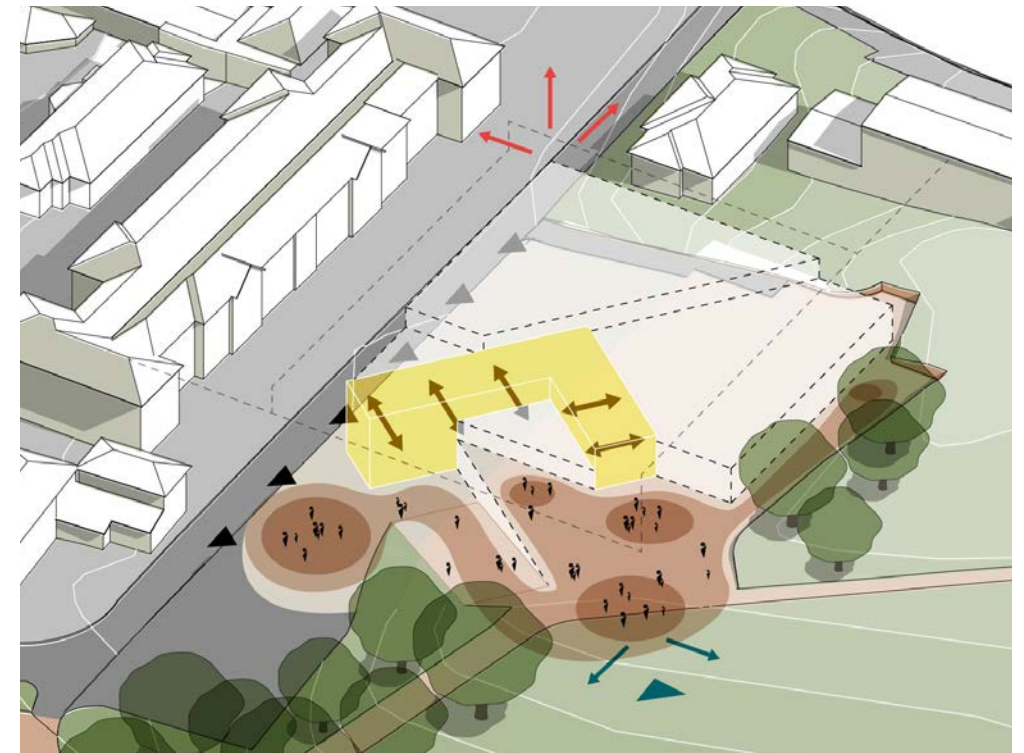
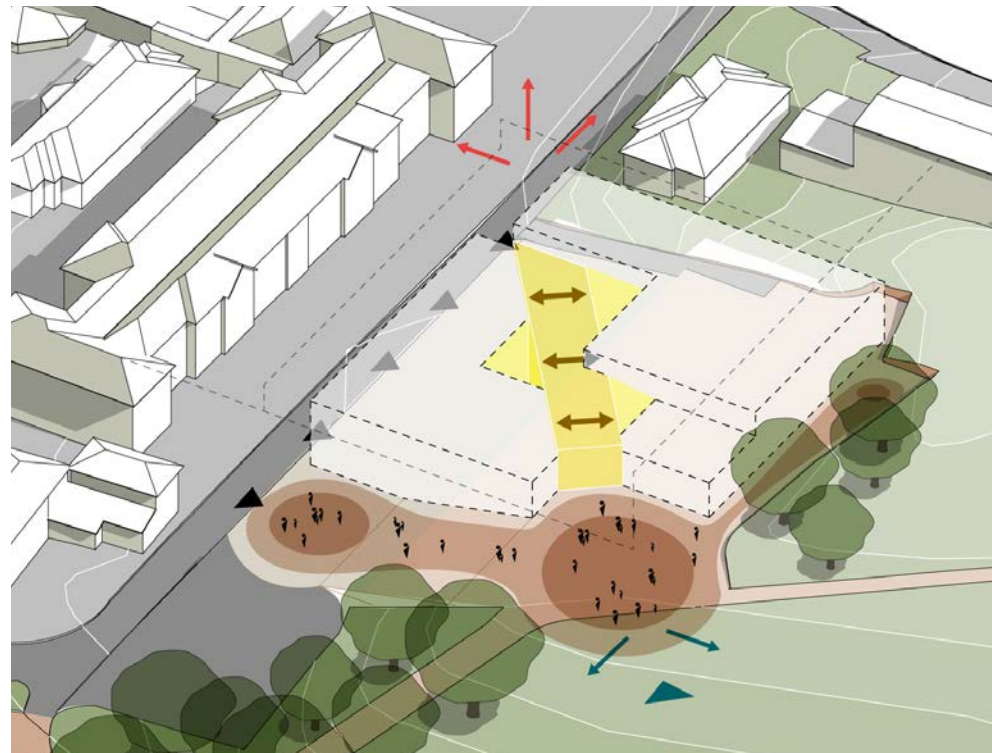
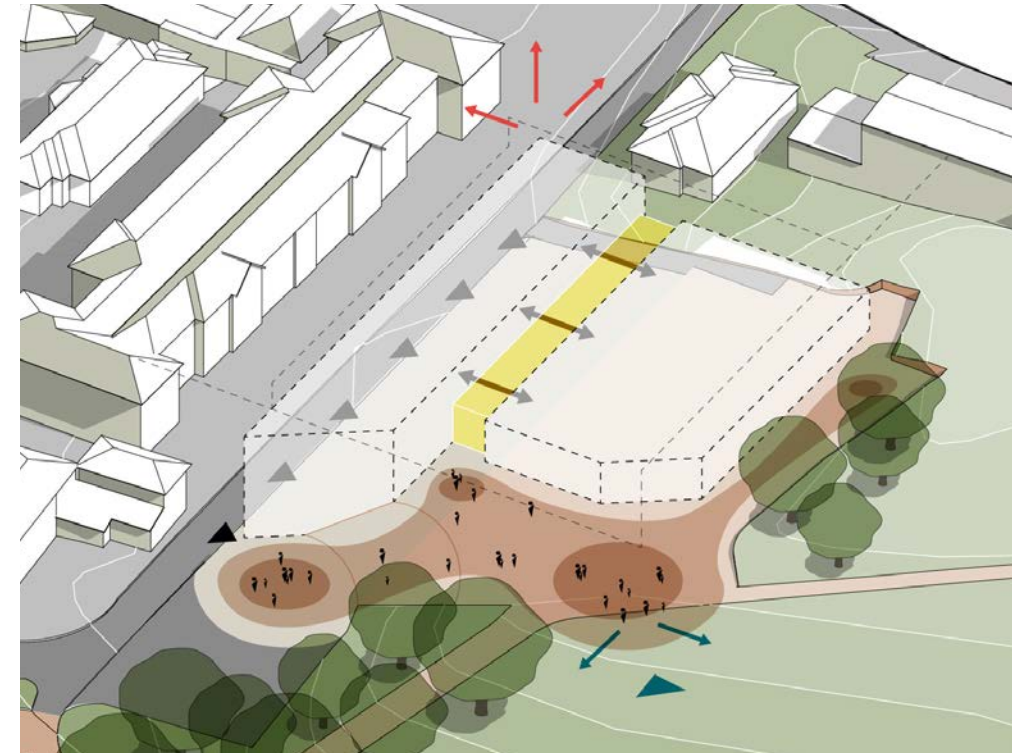
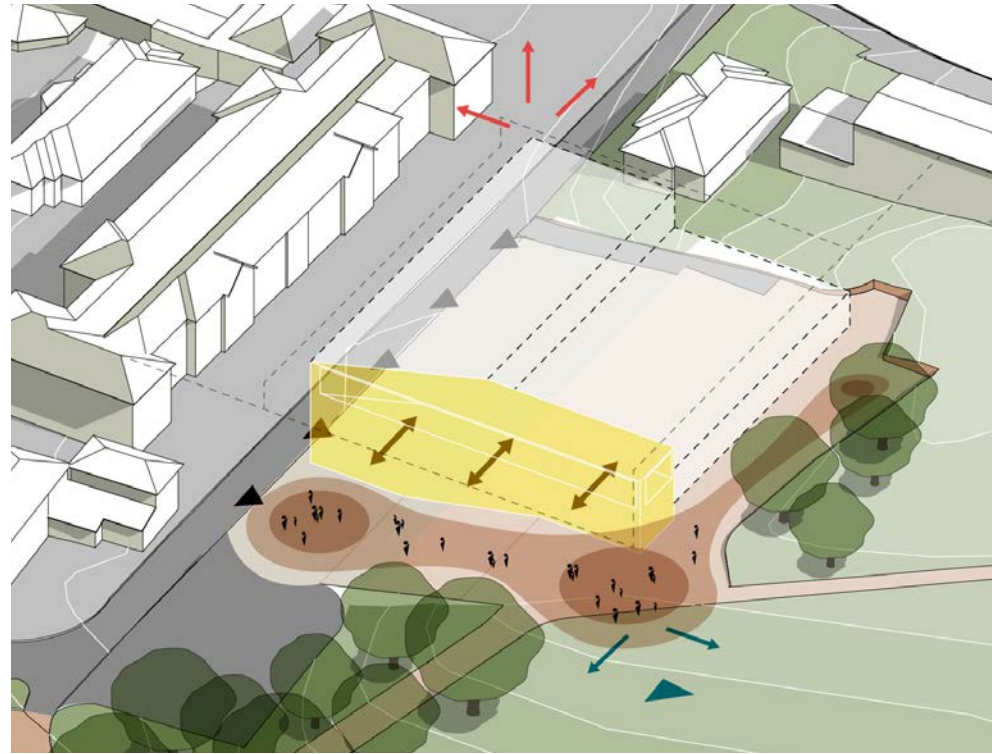




Having understood the key design drivers and opportunities it will then be possible to consider how this will begin to come together to form a design which will best activate and energise the site for future users. The adjacent diagrams show some initial thoughts on the different ways in which the key considerations could begin to manifest on site.

These drawings aim to show the versatility of the site and the opportunities which will arise to create a true landmark for Shrewsbury town. These initial ideas would be further explored in Stage 02 of the design process where a concept design would be formed, enabling more detailed planning, costing and facilities engagement to occur.

The adjacent diagrams show initial sketch ideas and would need significant development before a preferred massing solution could be chosen.





# 14

## Conclusions & Next Steps

It is clear that the Quarry is capable of holding competition facilities (as shown in Option 1) but that the access and parking constraints make this type of facility much less appropriate for a town centre site and that the additional water requirements reduce the potential of including additional facilities alongside the leisure offering. Sundorne, however has a significantly larger car park with capacity to improve its provision and is a wide, open site where access could be more easily dealt with.

The leisure provision demonstrated in options 3 and 4 provides suitable facilities for learner, family and lane swimmers, presenting a centre which is much more in keeping with the surrounding environment and able to contribute extremely positively to the natural and town centre surroundings.

Option 4 demonstrates that the Quarry site is capable of holding significant additional facilities alongside the wet and dry leisure offerings and it is our belief that this addition could make a distinct difference to the volume and variety of users.

In addition to this, the make-up of our town centres is drastically changing due to the current pandemic situation and as such it is imperative to create versatile, multi-functional facilities. This additional capacity could provide additional resilience to this design, creating multiple income streams whilst improving the flexibility and adaptability of this Shropshire asset.

## OPTION 04

### QUARRY

As option 3 leisure facilities with additional complimentary uses at the Quarry. Competition facilities located at Sundorne.

- 25m x 4 lane county standard training pool with moveable floor for learners (25 x 9m)
- Leisure Water (circa 450m<sup>2</sup>)
- Change village
- 80 station fitness suite
- 2 x fitness studios
- 2 x spin studio
- Dry changing facilities
- Parkside Cafe (50 covers)
- Rooftop Bistro (50 covers)
- Function Room (100 covers)
- Administration zones
- Plant & Support spaces
- Day Spa
- Soft Play

### SUNDORNE

Permanent swimming facilities located separately from the existing building to provide:

- 25 x 8 lane pool
- 17 x 10 training pool
- Changing facilities
- Spectator seating
- Entrance
- Plant and support spaces

## NEXT STEPS - STAGE 2-3 DESIGN

Once a preferred solution has been reached we would envisage the project moving forwards into the stage 2 and 3 design process. This process will include:

- Additional site surveys (ground conditions, ecology etc)
- Creation of sustainability targets (BREEAM, Passivhaus etc)
- Development of more detailed briefs for cafe, bistro and opportunity spaces
- Understanding the key user journeys
- Creation of clear massing principles
- Developing the integration with the Quarry Park
- Development of General Arrangement Plans
- Creation of an elevational strategy
- Creation of a clear landscaping strategy and design
- Development of sustainability features
- Development of plans to reflect chosen operator models (if applicable)
- Pre-application discussions with the Shropshire planning team
- Development of planning documents
- Development of material for public consultation



# Appendix 1

## Spatial Considerations



The adjacent table sets out the different combinations of leisure facilities which have been tested within this report. These facilities have been sized according to best practice guidance, largely provided by Sport England.

Sport England have published a number of documents that aim to develop standards for a wide range of sports facilities covering design, spatial provision, cost, procurement and facilities management. Where Sports England provide funding for a sport/leisure facility these standards must be closely adhered to.

At the time of writing it is unclear if either of the proposed leisure facilities will seek to obtain Sport England funding. Nevertheless, these documents create an important benchmark for the appropriate quantum of accommodation to be provided along with associated facilities and the application of their principles will ensure that Sport England funding could be sought at any point during the proposal's development.

The documents used in establishing the brief for The Quarry/Sundorne include:

- Affordable Sports Centres with Community 25m Pool Options (2015)
- Swimming Pools: Updated Guidance for 2013 (2013)
- Sports Halls Design & Layouts: Updated and Combined Guidance (2012)

Extracts of the relevant documents have been incorporated to demonstrate the principles of spatial parameters and key adjacencies that will apply. These form the basis of the initial options appraisals contained in sections 04-07 of this report.

	OPTION 1		OPTION 2		OPTION 3		OPTION 4		OPTION 5	
	Quarry	Sundorne	Quarry	Sundorne	Quarry	Sundorne	Quarry	Sundorne	Quarry	Sundorne
<b>POOL HALL</b>										
<b>Main Pool - 25m x 8 lane (community)</b>	■			■		■		■		■
<b>Main Pool - 25m x 4 lane (community)</b>					■		■		■	
<b>Temporary (size TBC)</b>		■								
<b>Teaching Pool - 15m x 8m</b>	■				■					
<b>Teaching Pool - 17m x 10m</b>				■		■		■		■
<b>Teaching Pool - 20m x 10m</b>			■							
<b>Leisure Water - Small</b>	■									
<b>Leisure Water - Large</b>			■		■		■		■	
<b>FITNESS SUITE</b>										
<b>Gym - 120 Stations</b>										■
<b>Gym - 80 Stations</b>	■		■		■		■		■	
<b>Fitness Studios</b>	■		■		■		■		■	■
<b>Spin Studio</b>	■		■		■		■		■	■
<b>RECREATION / HOSPITALITY</b>										
<b>Parkside Cafe - 50 covers</b>	■		■		■		■		■	
<b>Rooftop Bistro - 50 covers</b>	■		■		■		■		■	
<b>Function Room (linked to bistro) - 100 covers</b>	■		■		■		■		■	

Key Dimensions

The dimensions of swimming pools are defined within Sport England guidance 'Swimming Pools: Updated Guidance for 2013: Appendix 1' (extract and diagram provided). The requirements differ between Community (leisure) pools and Competition pools with the lane widths and margin requirements being more generous. For the purpose of the study it is assumed that the pool will be to ASA competition standard rather than the more onerous FINA standard.

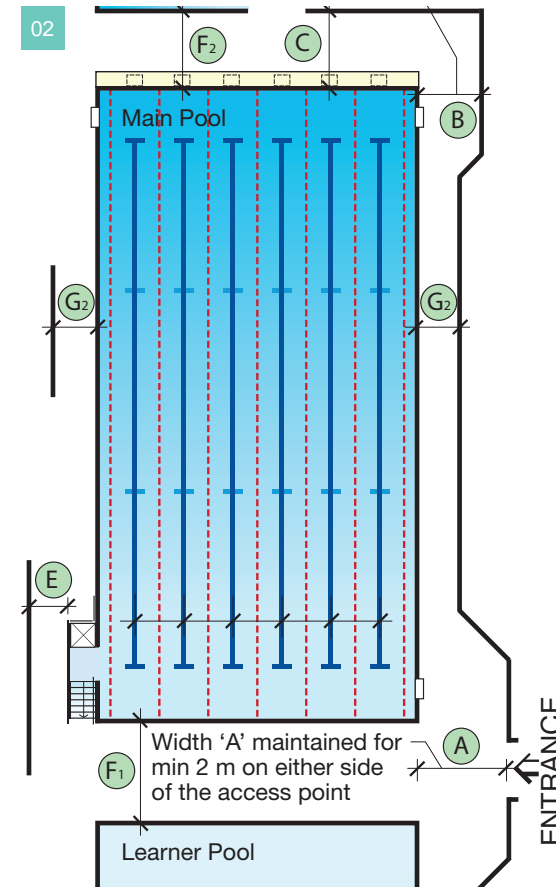
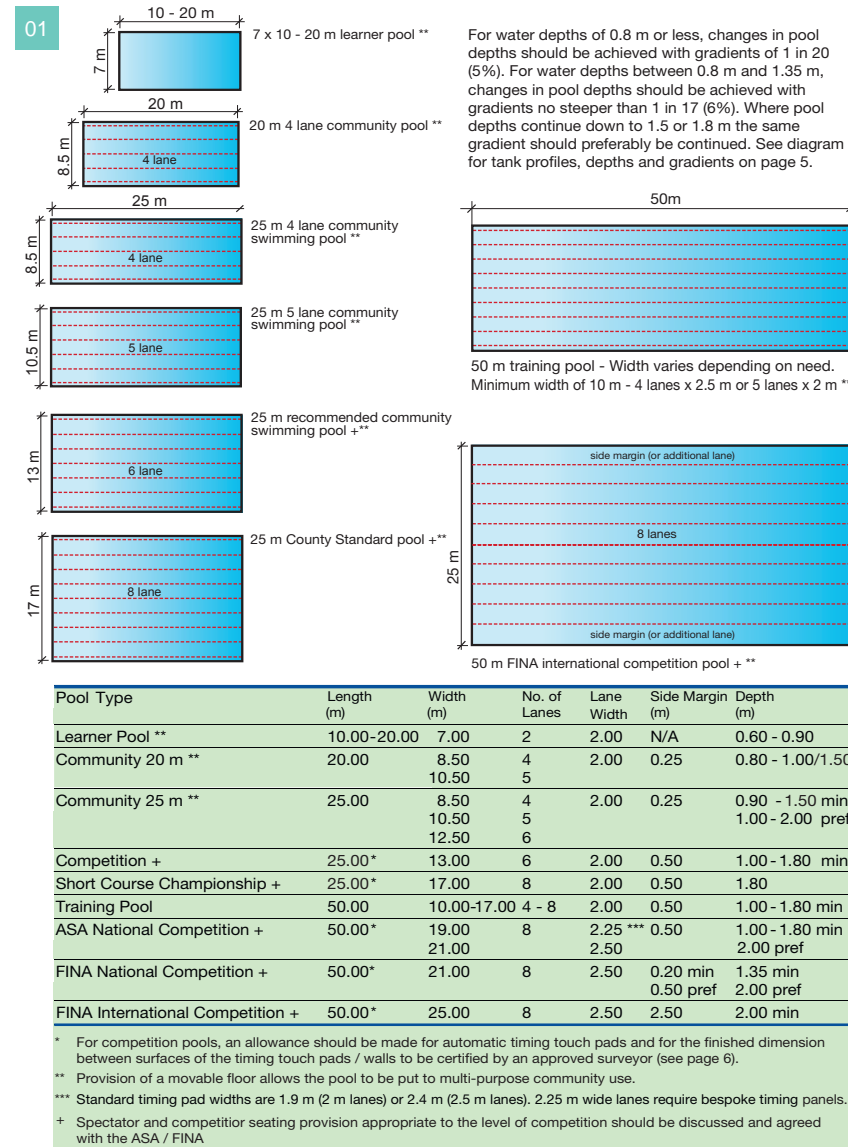
The required dimensions for the stated pools are therefore:

- 25mx8 lane competition pool = 25m x 21m
- 25mx4 lane competition pool = 25mx11m

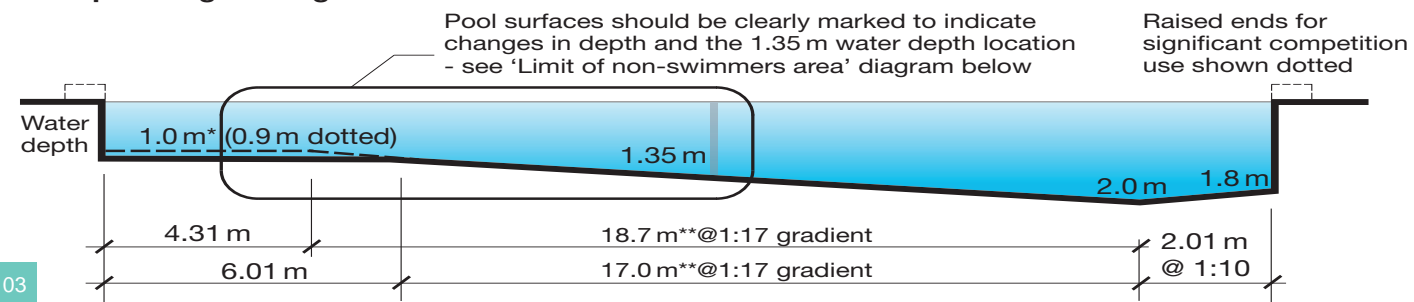
The pool depth within main pools is typically fixed with a shallow end at a minimum of 1m water depth to meet competition standards and a deep end at circa 2m water depth, again in accordance with Sport England Guidance.

Safe zones around the perimeter of the pool are defined within Table 2/Figure 13 within Sports England 'Swimming Pools: Updated Guidance for 2013: Appendix 1' (extract and diagram provided below).

The overall dimensions of the Pool Hall are therefore a product of the configuration of all of the elements of water provision, along with these safe zones.



25 m pools - general guidance



- 01 Pool Dimensions
- 02 Pool Surround Dimensions
- 03 Pool Depth: 25m Pools

All from Sport England Swimming Pools Updated Guidance for 2013

## Spatial Considerations

### Main Pool

#### Key Adjacencies

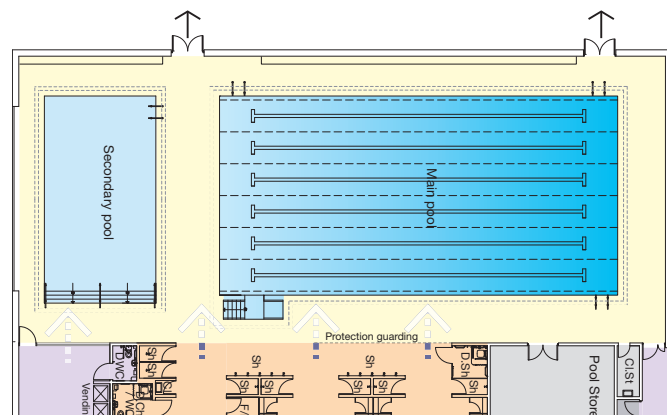
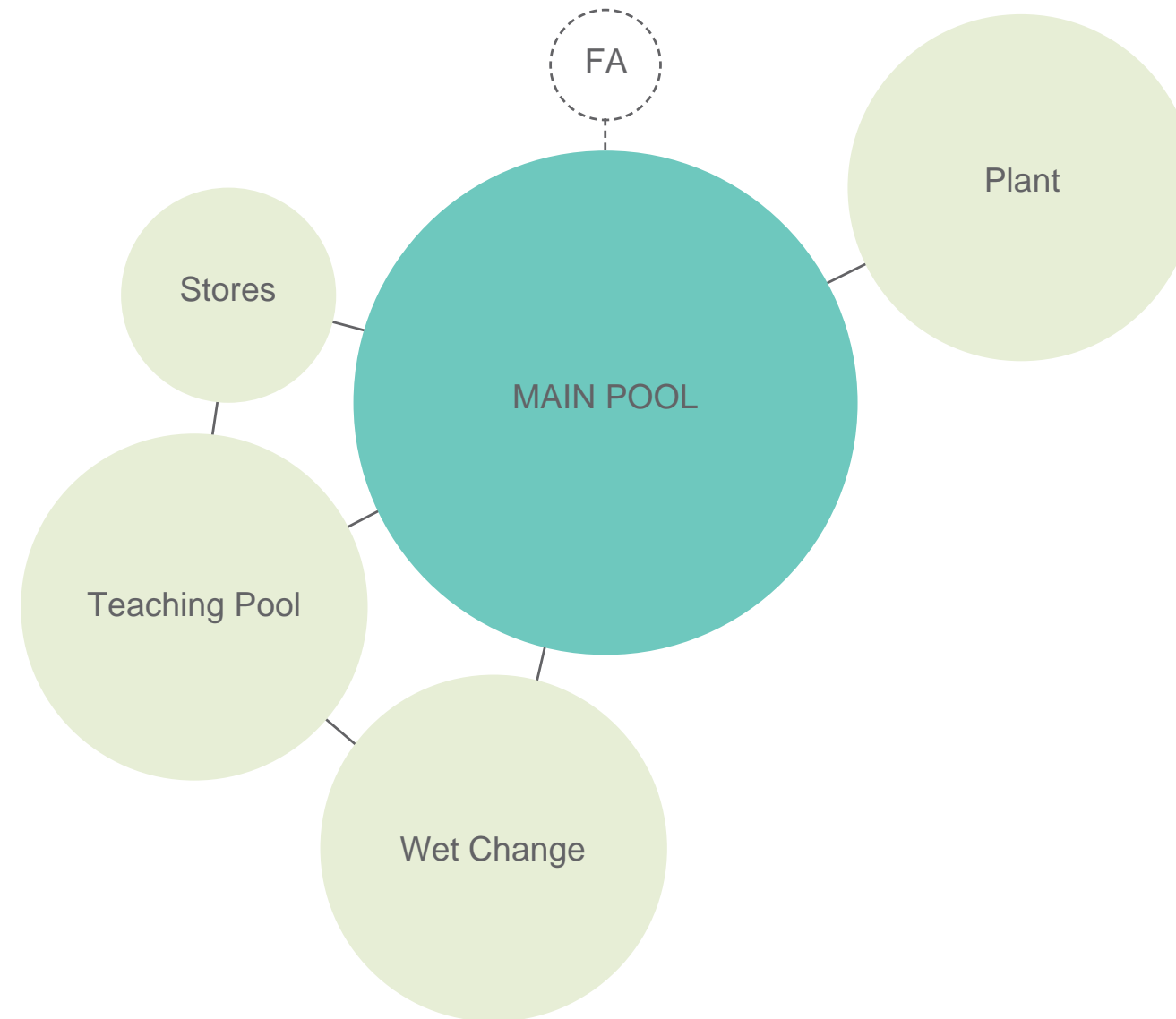
Direct access is to be provided from Wet Change to the Main Pool. Ideally the entry point between the two should be at or towards the shallow end of the pool.

The Learner Pool should be adjacent to the shallow end of the Main Pool. Consideration should be given to the need for personnel barriers between the two.

Pool Storage and Pool Cleaners' Store should be provided off the combined pool hall. A direct route to the plant areas is preferred.

Access to a First Aid Room is preferred by Sport England however, Places Leisure have advised that this is not required since their protocols for emergency treatment define that this would be carried out at poolside.

Emergency escape should be direct to outside.



02

01

01 Pool Adjacencies

02 Option C Layout

from Sport England Affordable Sports Centres with Community 25m Pool Options:  
Appendix 1

Key Dimensions

Whilst teaching/learner pools are described within the Sport England guidance their sizes are less onerous, and all of the proposed pool dimensions exceed the minimum standards described in 'Swimming Pools: Updated Guidance for 2013: Appendix 1.

The pool depth within teaching pools is typically adjustable by means of a moveable floor which allows water depth ranges between 0.6m and 0.9m, facilitating easy access for a number of different user groups. A shallow gradient (as per indicative section A-A is sometimes used, especially where training pool uses are envisaged.

Access into the pool may either be by ladders (which must be fully recessed into the pool wall) or steps. In both cases access must be from the long edge of the pool.

Safe zones around the perimeter of the pool are defined within Table 2/Figure 13 within Sports England 'Swimming Pools: Updated Guidance for 2013: Appendix 1' (extract and diagram provided below).

The overall dimensions of the Pool Hall are therefore a product of the configuration of all of the elements of water provision, along with these safe zones.

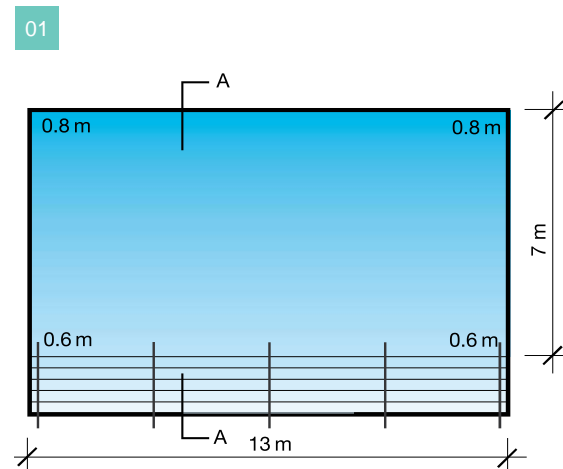


Diagram 01: Typical stand-alone learner pool layout

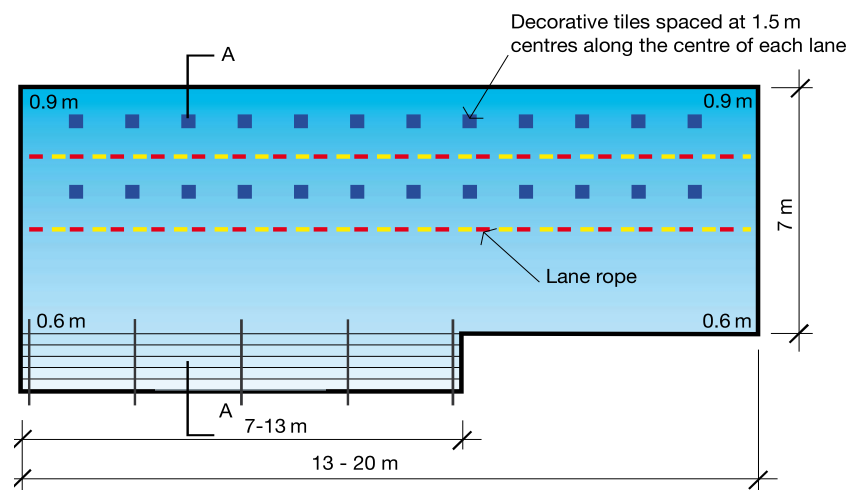
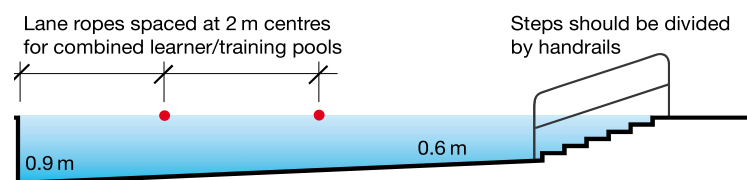
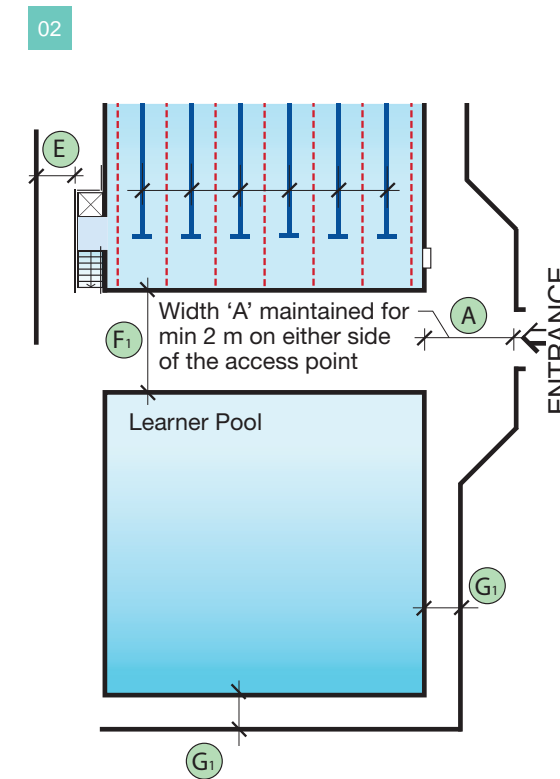


Diagram 02: Typical combined learner/training pool layout



Pool tank gradient should be no steeper than 1 in 17 (6%) for water of less than 1.35 m and 1 in 20 (5%) for water less than 0.8 m

Diagram 03: A-A pool profile.



Dim ref	Location	Clearance (minimum)
A	Entrance wall to pool	3.0 m
B	Pool to wall at exit points (ladders/steps)	2.5 m
C	Pool to wall in areas of diving boards / platforms	3.0 m
D	Diving pool to wall	4.5 m
E	Minimum circulation space around installations/features	1.25 m
F1	Distance between a diving/swimmers pool and a non-swimmers pool area, in the absence of separation	4.0 m
F2	Main pool to diving pool, in the absence of separation	3.0 m
G1	Pool to wall for pools under 300 m <sup>2</sup>	1.25 m
G2	Pool to wall for pools over 300 m <sup>2</sup>	1.5 m

01 Typical Teaching pool Configurations

02 Pool Depth: 25m Pools

All from Sport England Swimming Pools Updated Guidance for 2013

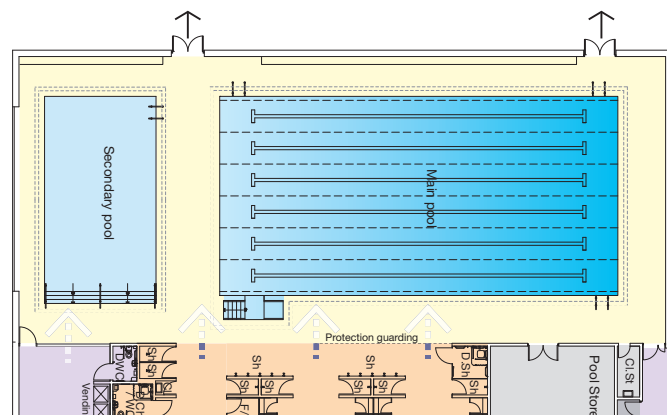
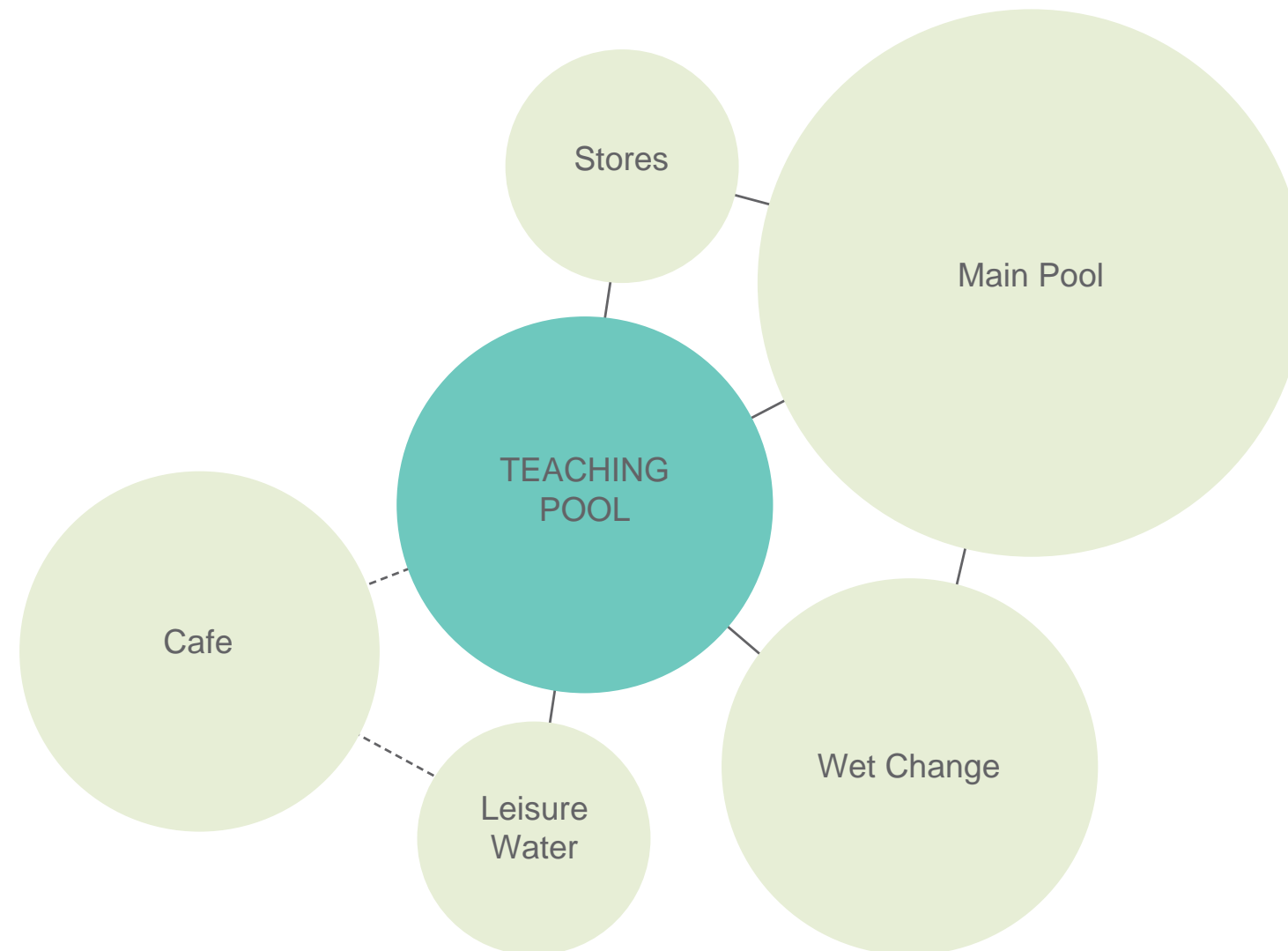
## Spatial Considerations Teaching Pool

### Key Adjacencies

Direct access is to be provided from Wet Change to the Teaching Pool. Ideally the entry point between the two should be at or towards the shallow end of the pool.

The Teaching Pool should be adjacent to the shallow end of the Main Pool. Consideration should be given to the need for personnel barriers between the two.

Pool Storage and Pool Cleaners' Store should be provided off the combined pool hall.



02

01

01 Pool Adjacencies

02 Option C Layout

from Sport England Affordable Sports Centres with Community 25m Pool Options:  
Appendix 1



## Spatial Considerations

### Leisure Water

#### Key Dimensions

Leisure water is not spatially defined with Sport England guidance and it is therefore intended that facilities will differ from pool to pool subject to the needs of the operator. As such provision should be developed in consultation with the operator and relevant specialists.

Examples of leisure water provision include:

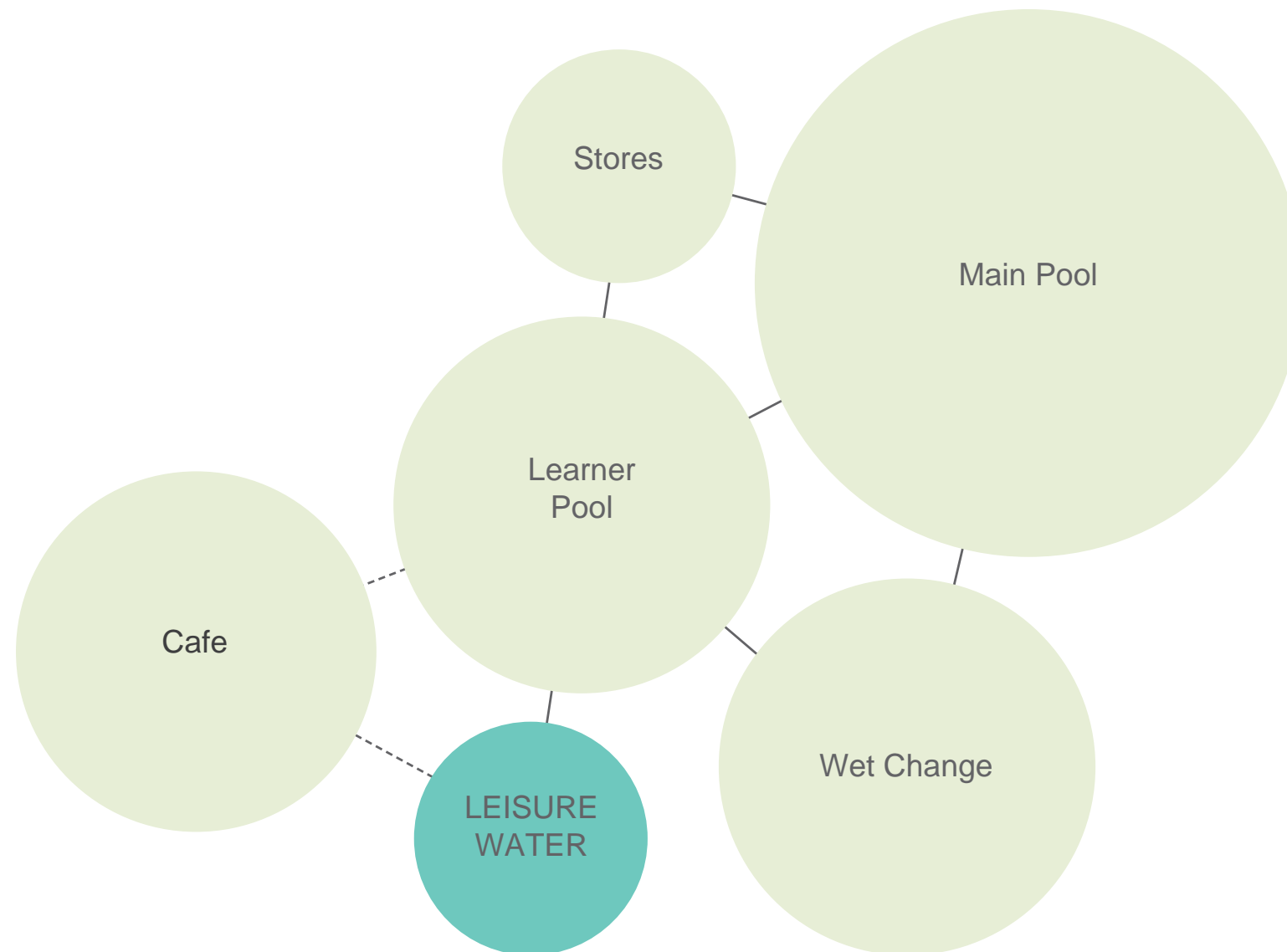
- Wave pools with beach
- Lazy rivers
- Falling rapids/whirlpools
- Splash pads e.g. water jets and canon, geysers, water sprays
- Outdoor pool links
- Water slides and flumes
- Warm spa pools

#### Key Adjacencies

Leisure water may typically be adjacent to the Teaching Pool to create a clear separation between leisure and fitness uses, however this may differ subject to operator requirements and site configurations. It is also typically viewable from the café space.



02



01

01 Pool Adjacencies

02 Precedent: Hinckley Splash Pad (Visualisation)







Key Dimensions

The area and facility requirements for Wet Change zones are calculated using the 'Standard Method' within Sport England 'Swimming Pools: Updated Guidance for 2013'. This is based upon:

Number of spaces required for a steady state condition i.e. when there is a steady flow of bathers into and out of the pool

- Additional spaces to accommodate call-out groups – or more commonly referred to as session groups.
- An allowance of 10% for changing spaces temporarily out of use, for example for cleaning during busy times
- Deciding upon the proportions of single, double, family/disabled changing cubicles and single-sex areas
- Additional group changing for schools and swimming clubs or as an additional buffer area

Since the changing requirement is linked to the water area (and by extension the bathing load) calculations must be produced for each individual configuration. This is further complicated by the provision of Leisure Water, which may either be considered as an additional load or as part of the base bathing load. This would need to be determined through dialogue with the facility's operator.

The Worked Example of the Standard Method is shown on this page and the calculation for The Quarry on the following page. For the purpose of understanding the spatial requirement the worked example assumes a steady state condition for Option 1 (which is likely to have the largest requirement for wet change) but with no additional bathing capacity for leisure water.

01

Changing room calculation example using the 'Standard Method' <sup>34</sup>			
Table 7			
Pool Water Area			Notes
Pool 1	Main pool 25 x 13m	325.00	m <sup>2</sup>
Pool 2	Learner pool 13 x 7m	91.00	m <sup>2</sup>
		<b>416.00</b>	m <sup>2</sup> - Total water area to be served by the changing rooms
<b>Step 1 Steady state condition</b>			
a	Any one time capacity = water area ÷ 3	138.66	◀ HSE publication HSG179 <i>Managing Health &amp; Safety in Swimming Pools</i> : para 203 recommends 3 m <sup>2</sup> /person as a start point for calculating the maximum numbers for un-programmed swimming sessions. However, lower maximum occupancy numbers can be calculated back from particular programme sessions such as 'lane swimming' or 'aqua aerobics'. The ASA advise that 6 m <sup>2</sup> /person is the minimum for comfortable swimming in a general swimming session. Any use of a pool should be subject to a full risk assessment.
b	Assumed time in pool hall (hours)	0.75	◀ To be discussed with operator. Longer times of say 1 hour are likely in leisure pools
c	Number changing per hour = a ÷ b	184.88	
d	Number of places required = c ÷ 4.5	41.09	◀ 4.5 is calculated by assuming an average time for changing of approx 13 minutes and dividing it into 1 hour
<b>Step 2 Call-out groups</b>			
e	Number of groups (Operators policy)	5	
f	Number in call out groups = a ÷ e	27.73	
g	Discount call out group by 20% = f x 80%	22.18	Allowing for swimmers who do not stay in pool for the full call out session
h	Add 50% of d	20.54	Allowing for new people coming into changing rooms
i	Number of spaces required = g + h	42.72	
<b>Step 3 Spaces out of use</b>			
j	Add 10% for spaces out of use	4.27	
k	Total number of spaces required =	47	
<b>Step 4 Decide on the mix of changing space types</b>			
<b>Option 1</b>			
Mixed sex area / Village changing			
l	Single cubicles required k ÷ 3	15.67	16 people
m	Double cubicles required k ÷ 3	15.67	32 people
n	Four person family / disabled	4	See Sport England Design Guidance Note 'Accessible Sports Facilities'
o	Equality provision: unisex changing room	1	See Sport England Design Guidance Note 'Accessible Sports Facilities'
p	Flexibility to give privacy for sensitive groups		See typical plan page 28

<b>Option 2</b>			
	Separate sex changing with cubicles and integrated group changing areas		◀ See Example 2 - Separate male and female layout on page 38
	Ensure that the arrangement has flexibility to accommodate different proportions of male and female. i.e. 1/3 male, female and buffer		
	<b>Allowance for groups</b>	40	Required in ADDITION to 'k' in order to cater for school classes, use by a swimming club, or use as a separate 'private' changing area for particular users [1] [1] Cubicles are preferred by women
	Additional group changing rooms (minimum capacity 20 places x 2 = 40)		
<b>Step 5 Locker provision</b>			
s	75% of the any one time capacity = a x 75%	103.9	◀ Allow lockers with coat hooks for additional group changing rooms if they are accessed directly from the communal changing and not lockable
t	Plus number of people in changing room = k	47	◀ To allow for peak times
u	Plus 10 % = (s + t) x 110%	166	◀ To allow for lockers out of use
<b>Step 6 Sanitary appliances</b>			
v	Male occupancy = a x 50% = 69	69	◀ As BS 6465: Part 1: 2006, Table 12 (see table on page 39 of this guidance note) based on 50% male and 50% female of total number of people using the facility.  HOWEVER, there seems to be general agreement that this standard can give some anomalies. In this example these include: <ul style="list-style-type: none"><li>• Accessible wider toilets in the female toilets but none in male toilets</li><li>• The female WC provision seems out of balance with the male wc+urinal provision even taking into account differences in use pattern between the genders</li><li>• Large variation between calculations for female wc's and hand basins for 'timed' and 'untimed' swimming sessions. <sup>36</sup></li><li>• Cleaners store should be provided.</li></ul> The figures marked with an * (3 <sup>rd</sup> column) are suggested by Sport England as a reasonable adjustment to BS 6465-1 2006 recommendations (2 <sup>nd</sup> column) in order to remove the anomalies. These should be discussed with the operator and agreed with the building control officers.
	WC's 2 for up to 100 = 2 <sup>35</sup>	2	
	Urinals 1 per 20 = 4	3*	
	Hand basins 1 per WC +1 per 5 urinals = 3	3	
	Showers 1 per 10 = 7	7	
	Vanity places 1 per 30 = 3	3	
	Wider ambulant accessible WC 1 for 4 or more WC's = 0	1*	
	Female occupancy = a x 50% = 69	69	
	WCs 1 per 10 <sup>35</sup> up to 50 + 1 per 100 thereafter = 7 <sup>36</sup>	4*	
	Hand basins 1 + 1 per 2 WC's = 5 <sup>36</sup>	5	
	Showers 1 per 10 = 7	7	
	Vanity places 1 per 20 = 4	3*	
	Wider ambulant accessible WC 1 for 4 or more WC's = 1 <sup>36</sup>	1	
	Nappy changing to be provided (in the unisex disabled changing / WC and in wider ambulant WCs in male and female toilets)	3	
	Drinking water may be provided		
	Cleaners rooms 1 where over 100 m <sup>2</sup> = 1	1	

## Spatial Considerations

### Wet Change

#### Key Dimensions

For the purpose of understanding the spatial requirement the worked example assumes a steady state condition for Option 1 (which is likely to have the largest requirement for wet change) but with no additional bathing capacity for leisure water.

NB Physical provision of items (cubicles, lockers, WCs etc are highlighted in blue).

Changing Room Calculation using Standard Method (Table 7)		
OPTION ONE - THE QUARRY		
Pool Water Area		
Pool 1		525
Pool 2		120
Total		645
Step 1		Steady State Condition
a	Bathing capacity = water area/3	215
b	Assumed time in pool hall (hours)	1
c	Number changing per hour = a/b	215
d	Number of places required = c/4.5	48
Step 2		Call Out Groups
e	Number of groups (operator's policy)	5
f	Number in call out groups = a/e	43
g	Discount call out groups by 20% = fx0.8	34
h	Add 50% of d	24
i	Number of spaces required = g+h	58
Step 3		Spaces Out of Use
j	10% for out of use	6
k	Total number of spaces required = i+j	64
Step 4		
Option 1 (Village Changing)		
l	Single cubicles required = k/3	21
m	Double cubicles required = k/3	21
n	Four Person / Disabled Cubicles	5
o	Equality provision	1
p	Flexibility to give privacy to sensitive groups	0
q	Allowance for groups (minimum capacity = 20x2)	40
Step 5		Locker Provision
s	75% of One time capacity = ax0.75	161
t	Plus number of people in changing rooms = k	64
	Plus 10% = (s+t)x1.1	248
Step 6		Sanitary Appliances
v	Male occupancy = 50% of a	108
	WCs = 2 for up to 100 + 1 for next 100	3
	Urinals = 1 per 20 or part thereof	6
	Basins = 1 per WC + 1 per every 5 urinals	5
	Showers = 1 per 10	11
	Vanity Places = 1 per 30	4
	Female occupancy = 50% of a	108
	WCs = 1 per 10 up to 50 + 1 per 100 thereafter	6
	Basins = 1 + per 2 WCs thereafter	4
	Showers = 1 per 10	11
	Vanity Places = 1 per 30	4
	Accessible WC	1
	Accessible Shower	1
	Nappy Change	1
	Cleaners Room	1



## Spatial Considerations

### Wet Change

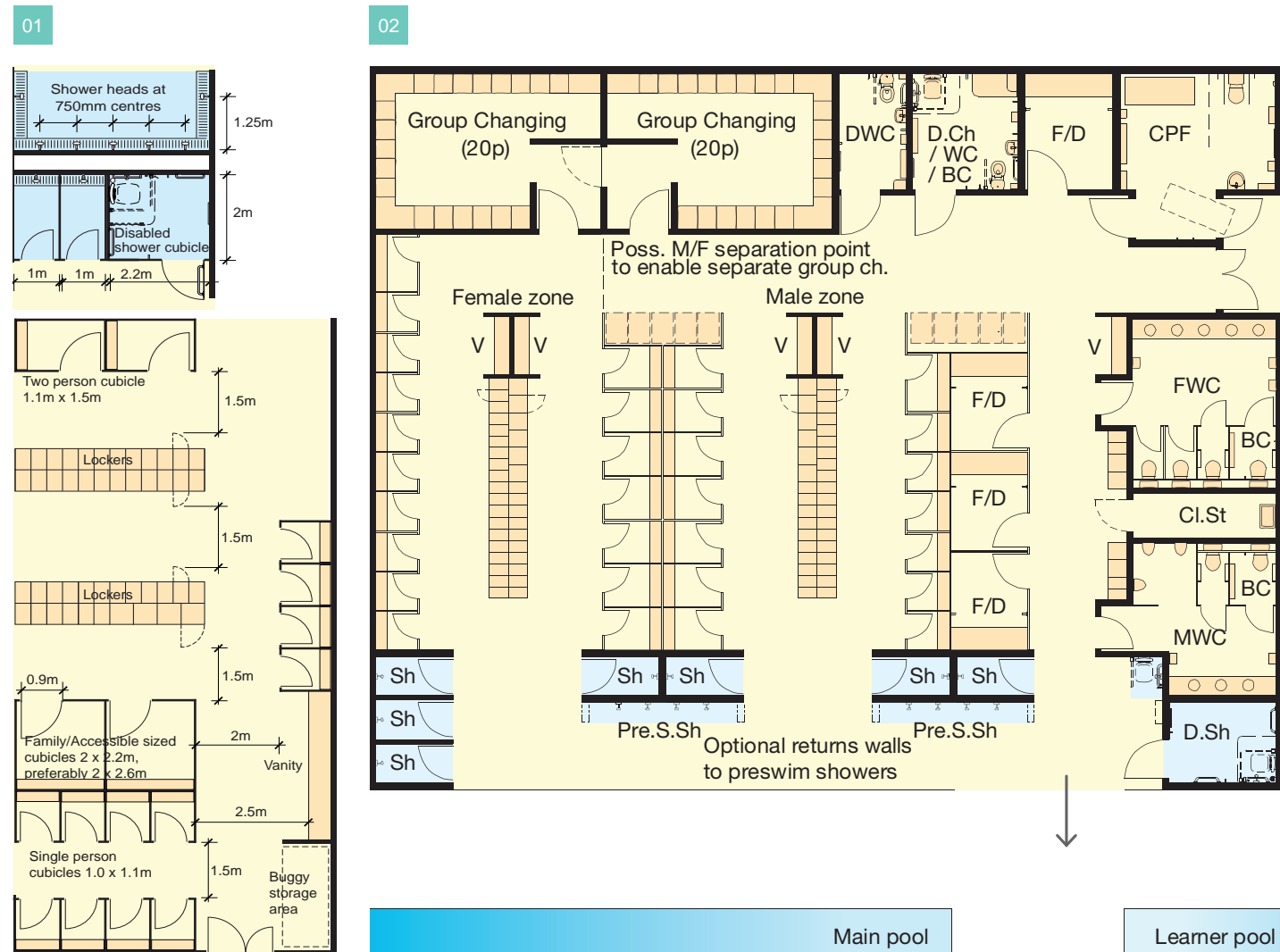
#### Key Dimensions

The adjacent diagram (01) taken from Sports England 'Swimming Pools: Updated Guidance for 2013, shows the space standards for cubicles and clear maneuvering spaces between. This forms the minimum requirements for the options for the Quarry and Sports Village Site. Typically a 1500mm zone clear of any outward opening doors (eg lockers) is required. Minimum cubicle sizes are as follows:

- |                             |                  |
|-----------------------------|------------------|
| • 1 person Changing         | 1.1x1.0m         |
| • 2 person Changing         | 1.1x1.5m         |
| • Family Changing           | 2.0x2.2m         |
| • Accessible Changing       | 2.0x2.2m         |
| • 1 person shower cubicle   | 1.0x2.0m         |
| • Accessible shower cubicle | 2.0x2.2m         |
| • Pre-swim shower           | 0.75(cent) x2.0m |

The zoning diagram (02) demonstrates a typical layout of a Changing Village, as may be provided at either site. The following are noted and will be incorporated into the proposal:

- Accessible Changing (including Change Places Room) and Accessible WC are provided close to the entrance area
- Family Changing is grouped
- A notional line of privacy is shown which allows male and female changing areas to be separated
- This line sits on the party wall line between male and female Group Change
- Wet WCs are incorporated with direct access into the Wet Change
- A shower zone is located at the entry to the Pool Hall utilising a mixture of shower cubicles and pre-wash showers



01 Preferred Minimum Dimensions

02 Village Changing Example

All from Sport England Swimming Pools Updated Guidance for 2013

## Spatial Considerations

### Wet Change

#### Key Adjacencies

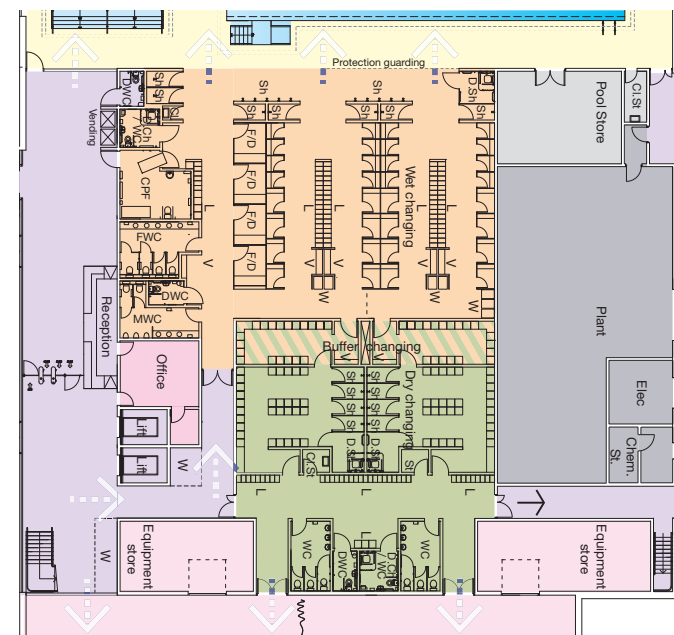
Wet Change should be directly accessible from the public street, with a transition area between to allow users to remove footwear before moving into the clean Wet Change area. This is also a convenient location for a buggy park.

The Wet Change area then feeds directly into the Pool Hall via a pre-wash zone.

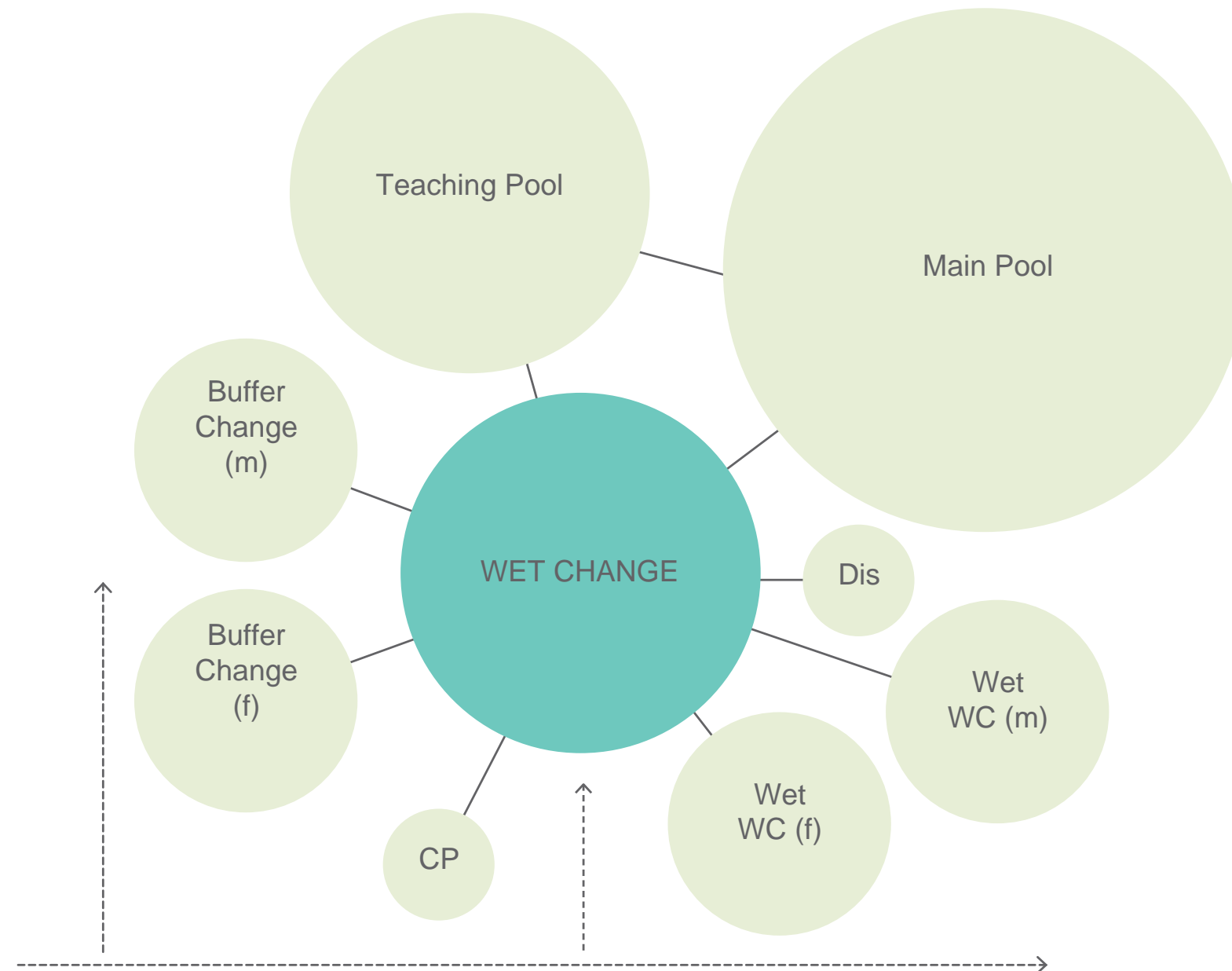
As noted above, Dry Change will be used intermittently for the purpose of Buffer/Group Change. It should therefore have its own access from the public zone but also have connection to the Wet Change.

Wet Change should have its own set of toilets (male, female & accessible) which are therefore designated as 'Wet' WCs as well as standalone changing facilities for accessible users. In particular the Changing Places room (an enlarged WC that offers greater accessibility than a standard disabled WC) should be accessible both from the wet and the dry sides.

Diagram 02 illustrates many of these key adjacencies.



02



01

01 Wet Change Adjacencies

02 Option C Layout

Diagram 02 from Sport England Affordable Sports Centres with Community 25m Pool Options: Appendix 1

#### Gymnasium

Appendix 2 of Sport England 'Affordable Sports Halls with 25m Community Pool Options' suggests that the gymnasium within a Leisure Centre of this size be no less than 450m<sup>2</sup> and assuming the standard spatial allowance of 7m<sup>2</sup> per station would produce a larger area than this minimum. However, operators now tend to apply a lower standard of circa 4.5m<sup>2</sup> per station which would produce an overall area of 360m<sup>2</sup>.

Optimum ceiling height for such large spaces is said to be between 3.5 and 4m, as defined within Sports England 'Fitness and Exercise Spaces' guidance document. Views are preferable to either the outside and/or the main Pool Hall.

Storage is typically not required in gyms since equipment is left accessible for users. A reception/staff point is usually required but forms part of the principal space.

#### Studios

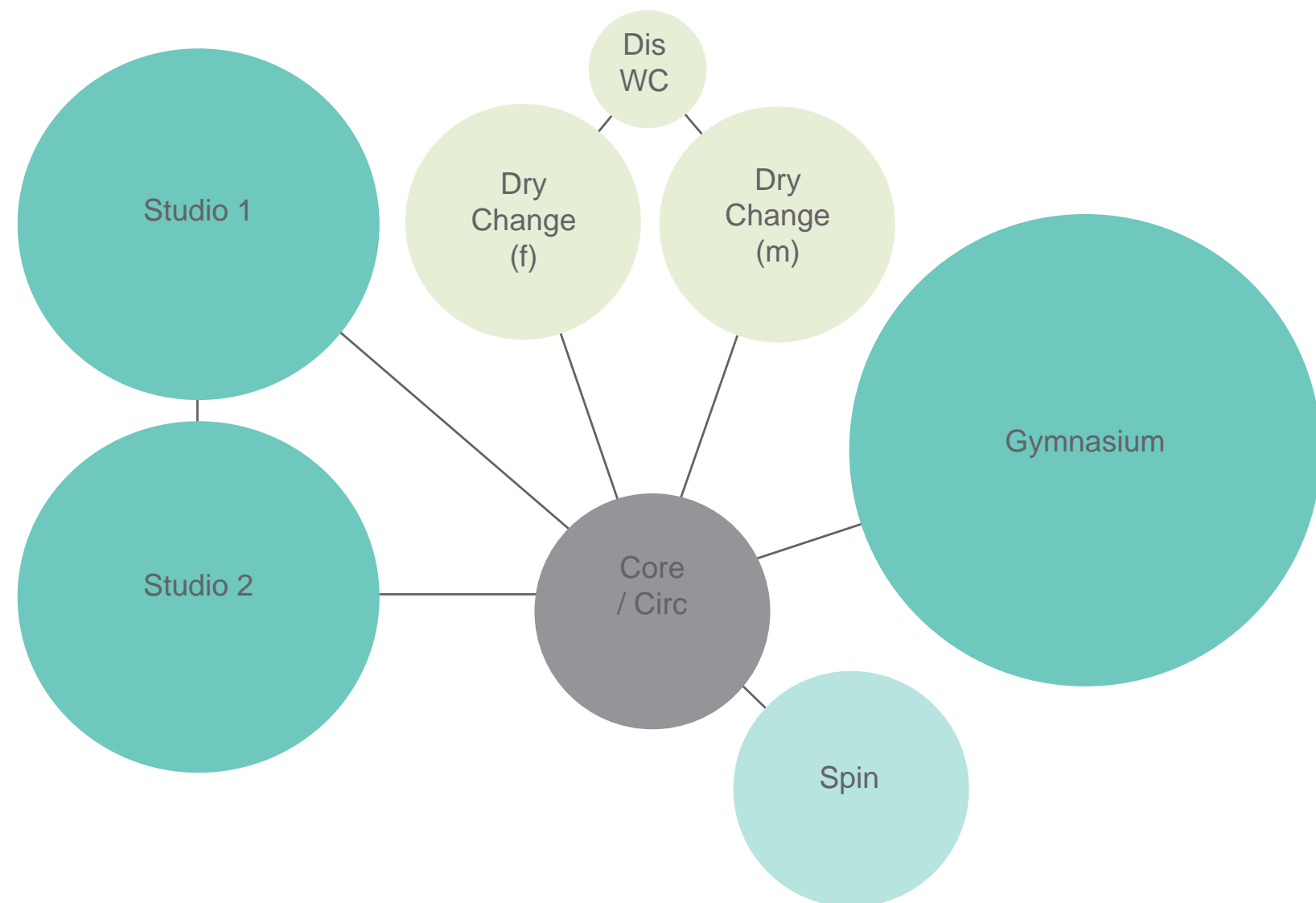
Appendix 2 of Sport England 'Affordable Sports Halls with 25m Community Pool Options' suggests that 2No studios of 150m<sup>2</sup> each be provided in a Leisure Centre of this size. A space of circa 15x10m is therefore required. The use of a demountable partition between the two provides flexibility of use and allows the two spaces to become a single, large room. Again, a ceiling height of between 3.5 and 4m is considered optimal.

Storage is required to one end for equipment associated with the spaces and should provide circa 34m<sup>2</sup> overall. Solid walls are required to the two long sides, often incorporating mirrors, though the end walls may be open to views out or into the Pool Hall.

#### Spinning Classroom

The requirements of spinning classrooms are not defined within Sport England 'Affordable Sports Centres With 25m Community Pool Options' though their use within fitness suites is noted in Sport England 'Fitness and Exercise Spaces' guidance document. Dedicated spinning studios are preferred as the equipment can be bulky and awkward to store. They can be smaller than exercise studios, as there is no extended movement, other than for getting on, off and general circulation around the equipment. An allowance of 70-90m<sup>2</sup> would not be incompatible with Sport England guidance.

Spinning classes generate substantial noise and activity disruptive to other users. Spinning should therefore be separated from the main gym and held in a separate studio. Spinning studios may require specialist lighting, projection or plasma screen TV's and audio systems.





## Spatial Considerations

### Fitness Suite: Changing

Sport England 'Affordable Sports Centres with 25m Community pools Options' guidance document defines that changing provision should be based on an equal split between male and female users and the number of spaces calculated as 65% of the maximum occupancy. This assumes that many users will arrive already changed. However, marketplace feedback suggests that a greater reduction can be applied in some locations and 35% of the maximum occupancy has been used to represent a more typical scenario. It is this scenario that is proposed to be used at the Quarry/Sundorne.

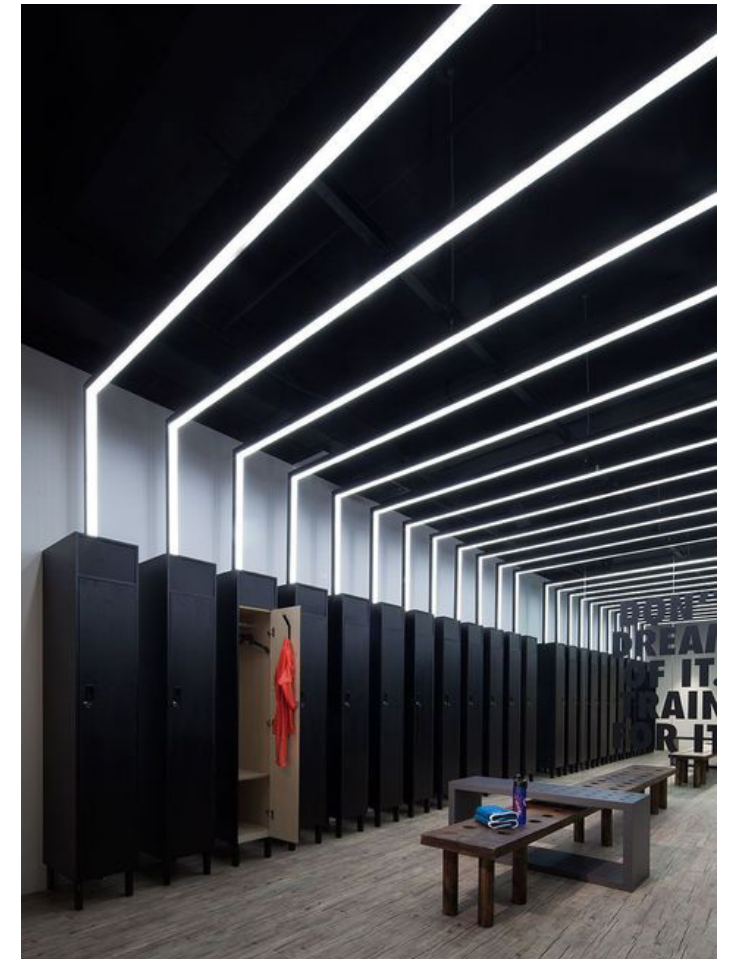
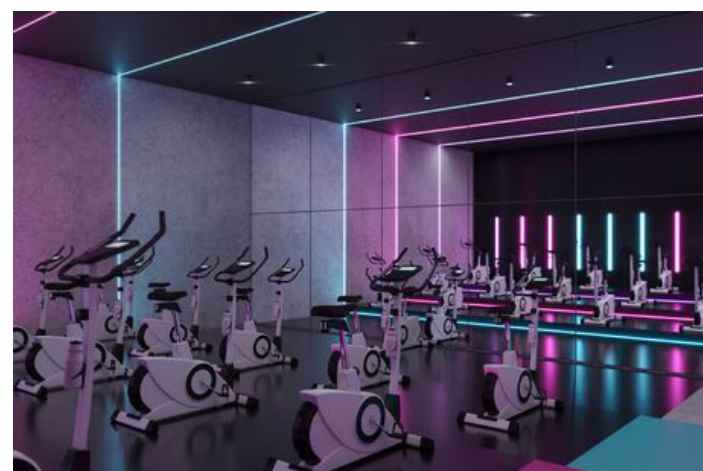
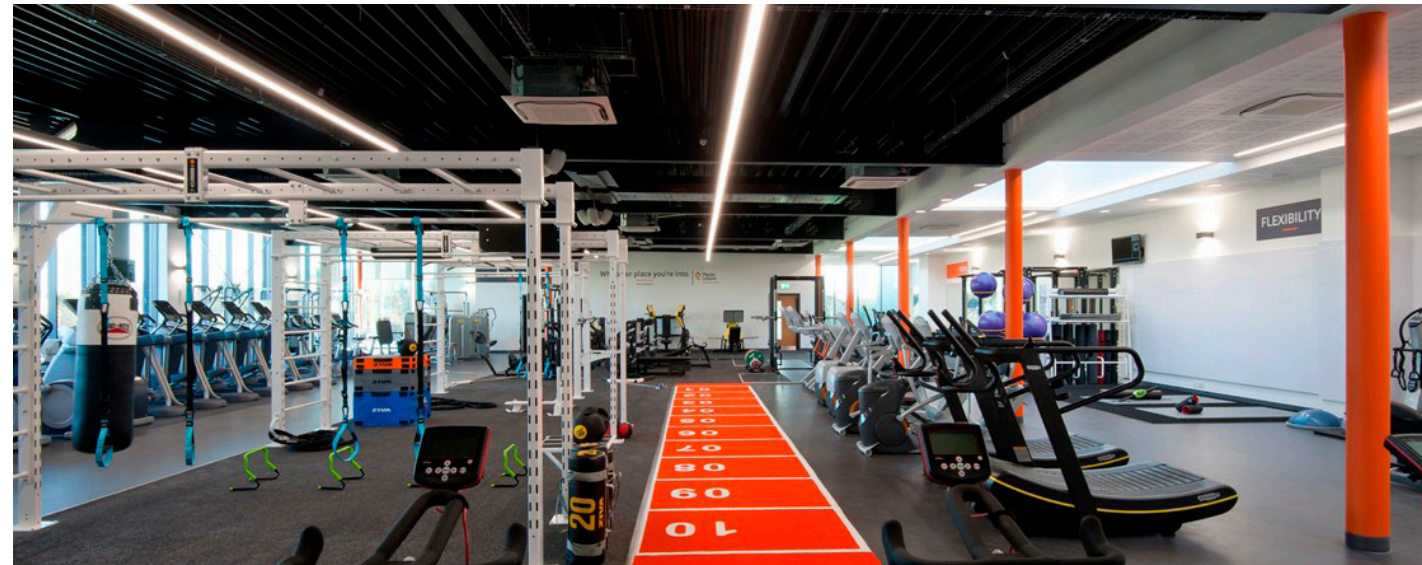
Similarly, the review has assumed a more intensive use of the gym and studio spaces and based user numbers on a maximum capacity of 5 m<sup>2</sup> per person for the studios and 4.5 m<sup>2</sup> per person for the gym (rather than the 7 m<sup>2</sup> and 5 m<sup>2</sup> respectively as mentioned in Sport England guidance). One shower cubicle is provided for every six changing spaces and a larger accessible shower cubicle is included. Accessible seating is also provided in both male and female changing rooms.

At the stated capacity (80No stations) and using the industry space standard the gym would be 360m<sup>2</sup>. Using the more onerous Sport England standard this would increase to 560m<sup>2</sup>. Based on the latter but using a 35% maximum occupancy, 28No male changing spaces and 28No female changing spaces would be required with 5No showers within each. Vanity units should be provided in the ratio 1 to 20 (ie 2No male, 2no female) though additional provision may be beneficial.

WC capacity is also a product of these figures:

- Male = 2No WCs + 2 urinals (+ 3 wash hand basins)
- Female = 3No WCs (+2 wash hand basins)
- Accessible WC and Shower are provided in addition.

Lockers are calculated as 2.5 times the assessed occupancy levels for changing, ie 140 lockers.





## Spatial Considerations

### Front of House/Back of House

#### Key Dimensions

Sport England provides no specific guidance on the size requirements for these functions beyond generic tables for a series of model options taken from 'Affordable Sports Centres with Community 25m Pool Options: Appendix 2' and reflects the fact that requirements will differ subject to the operational approaches of individual facilities. For the purpose of initial assessment the various model options do provide a reasonable initial allowance, though there are clearly significant differences between this standard model and the conditions at The Quarry/Sundorne. The brief for The Quarry/Sundorne will therefore need to be developed through dialogue with Shropshire Council and/or the selected operator to comprise the following:

#### Front-of-House Functions

- Entrance/Lobby – Draught lobbied entrance leading into main foyer with good visibility to main Reception & Café
- Main Reception – The main reception should be immediately visible on entry and should be positioned to facilitate a secure line into the main body of the Leisure Centre. Direct access is also preferable to associated back-of-house functions (see right).
- Café – In line with the suggested brief the cafe should seek to provide up to 30 covers, however this is a relatively modest capacity for a Leisure Centre of this size and it may be more appropriate to increase to upwards of 60 if the larger brief (including large leisure water facility) is adopted. Maximising capacity may not necessarily require significant additional floor area. Bench seating, for example, may be able to achieve greater densities than individual tables.
- Servery – It is assumed that a servery would be required as part of the cafe. This will require its own area allowance. Adjacent store/preparation space of may also be required.
- Public Toilets – Toilets are required both for servicing the café and for wider use by those within the Centre and should be provided in addition to those within changing areas.

#### Back-of-House Functions

- Staff Office – a Leisure Centre of this size may be expected to accommodate as many as 8No staff, though this should be reviewed with Shropshire Council/ the selected operator. Standard workplace guidance suggests an allowance of circa 6m<sup>2</sup> per person, with the staff office therefore being a minimum of 48m<sup>2</sup>. Some allowance should also be made for kitchenette/ welfare facilities.
- Manager's Office – to be circa 9m<sup>2</sup> and accessed from the Staff Office
- Cash Store – to be circa 2x3.7m. It is considered preferable that this be accessed from the Manager's Office for the purpose of security





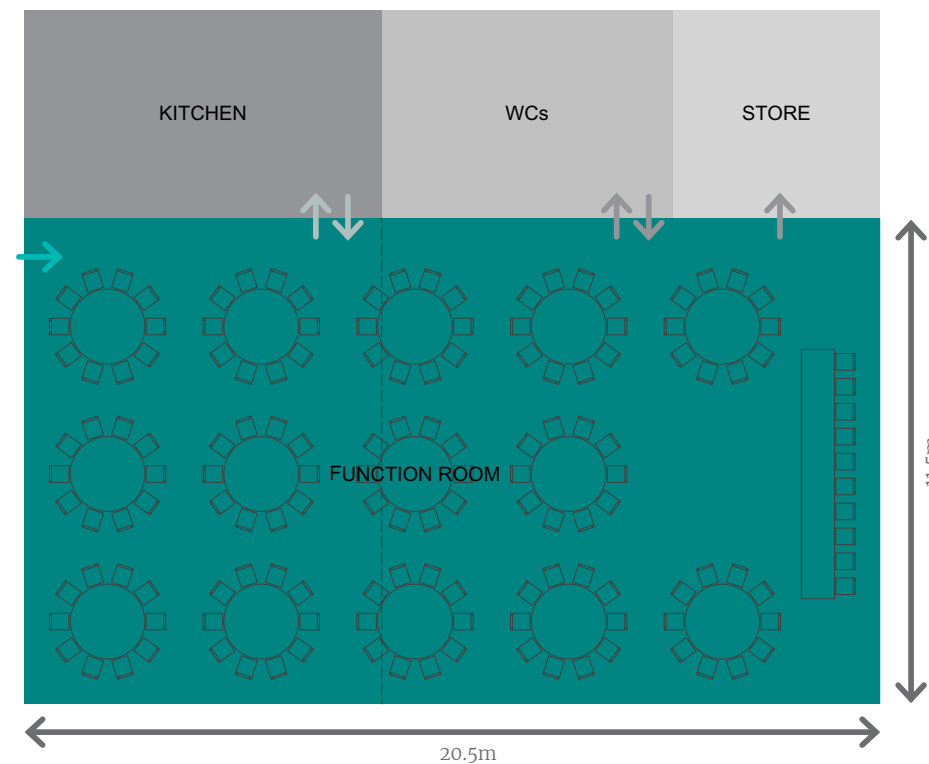
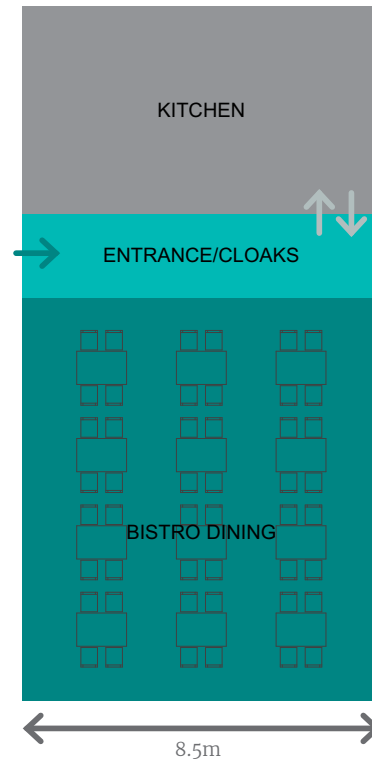
## Spatial Considerations Bistro/Function Room

The proposed brief is for the provision of a bistro as a discrete hospitality function in addition to the more informal leisure cafe which will be closely associated with the main entrance/pool hall. This should be able to accommodate a circa 50 covers.

The adjacent diagram illustrates a typical layout for such a facility, with dining shown in a consistent arrangement of tables of four. The spaces around are however relatively generous and would accommodate alternative arrangements - eg a mix of smaller and/or larger tables, including comfortable seating may be required, or to take advantage of views and/or access to an outdoor terrace by tables being located against an outside wall.

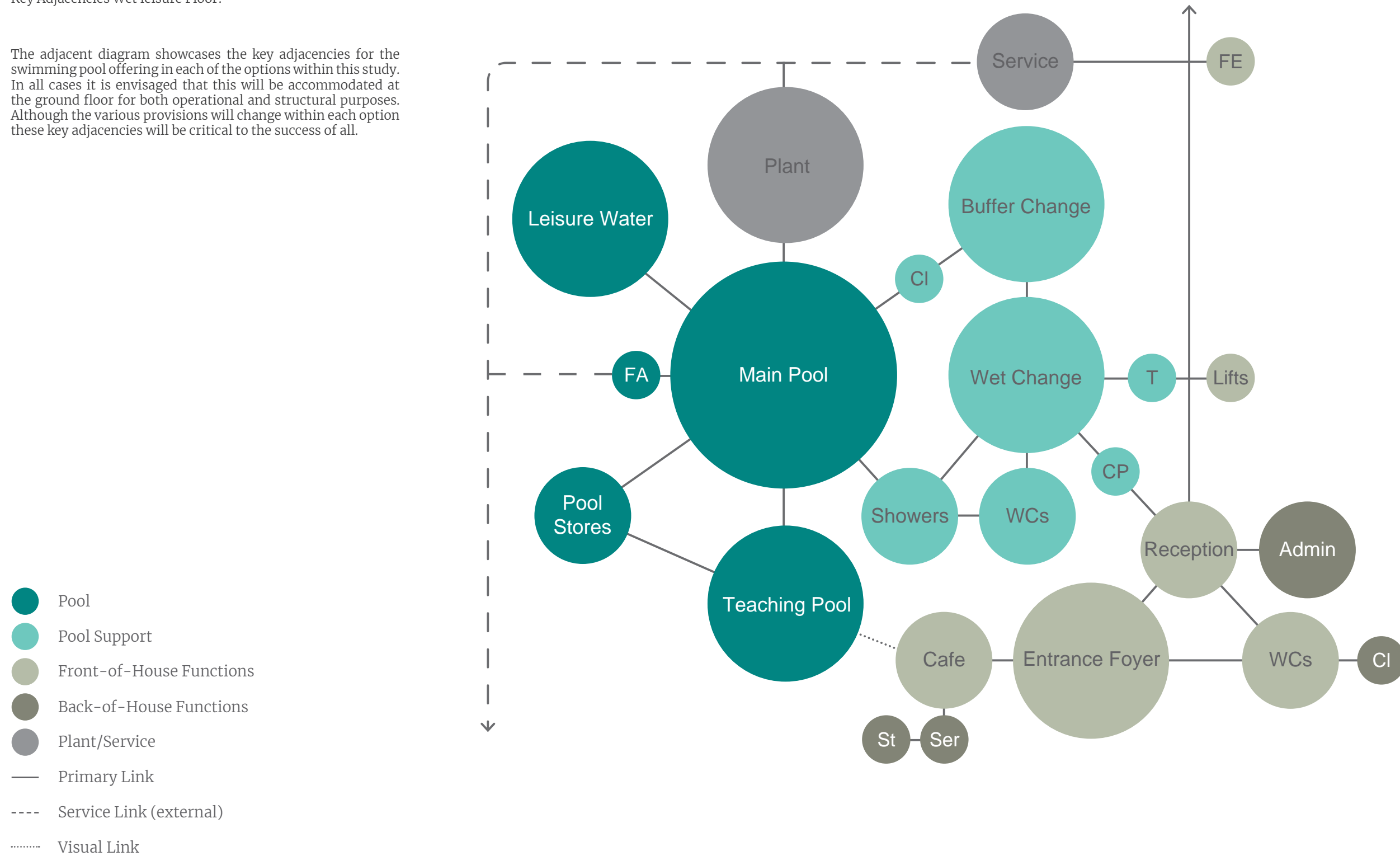
A further allowance has been made for an entrance/cloaking area whilst the kitchen has been shown at the industry standard of one-third of the dining area. This would need to be confirmed by specialists at a later design stage.

The brief also requires a function room for 150No diners. The adjacent diagram illustrates how this might be combined with the bistro, using tables of ten. Space has also been shown for the storage of furniture when not in use and WCs. Clearly these generic allowances would need to be developed further at later design stages.



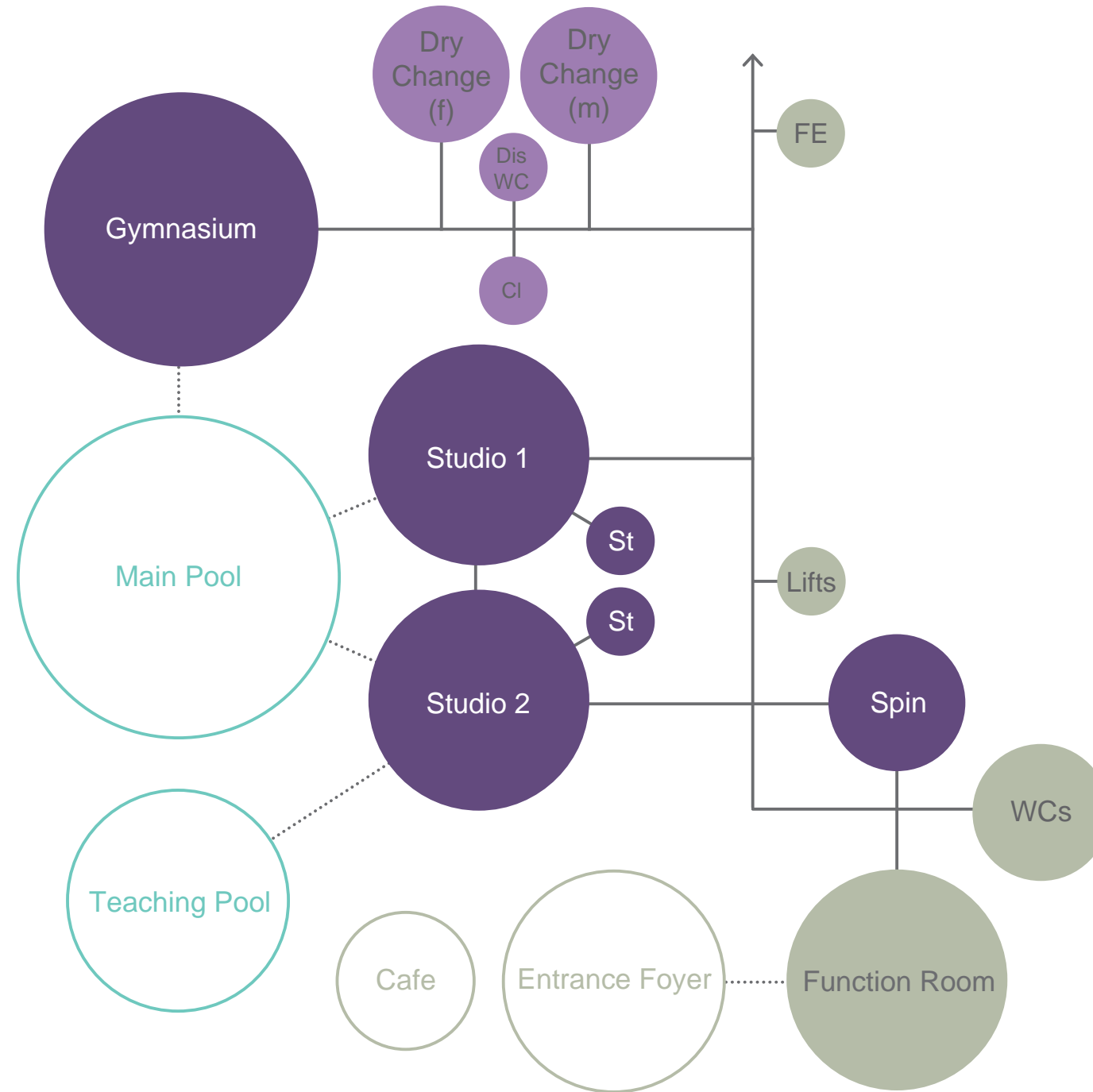
Key Adjacencies Wet leisure Floor:

The adjacent diagram showcases the key adjacencies for the swimming pool offering in each of the options within this study. In all cases it is envisaged that this will be accommodated at the ground floor for both operational and structural purposes. Although the various provisions will change within each option these key adjacencies will be critical to the success of all.



Key Adjacencies Dry Leisure Floor:

The adjacent diagram showcases the key adjacencies for the fitness offering in each of the options within this study. In all cases it is envisaged that this will be accommodated at the first floor level for operational purpose, providing direct yet separable access from cafe and swimming facilities. Although the various provisions will change between the Quarry and Sundorne these key adjacencies will be critical to the success of all options.

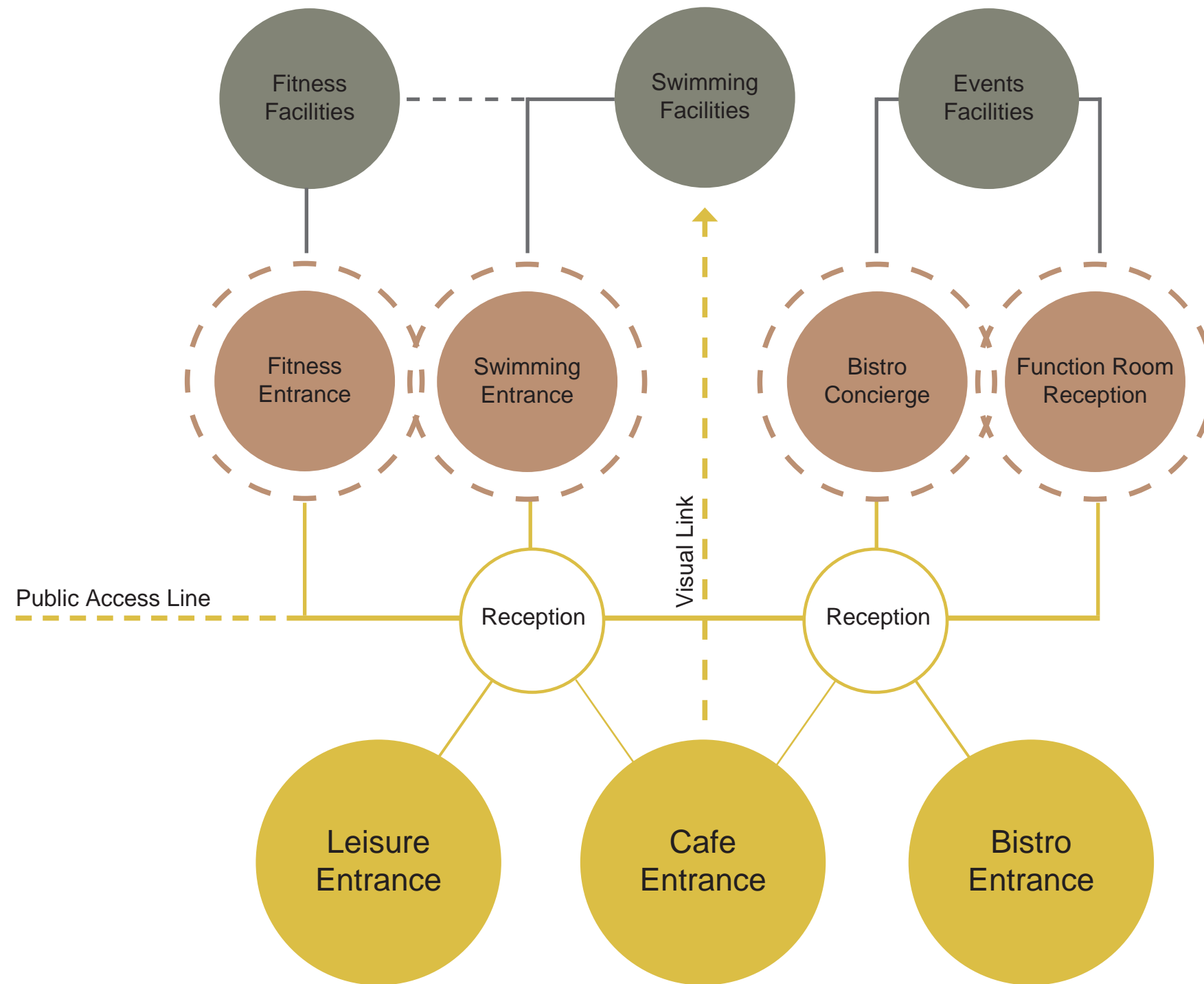


- Fitness Suite
- Fitness Suite Support
- Front-of-House Functions
- Back-of-House Functions
- Double Height Space
- Primary Link
- - - - Service Link (external)
- ..... Visual Link



Key Adjacencies Entrance Zones:

The adjacent diagram showcases the key entrance links which will need to be carefully designed at the Quarry. As a building with multiple users and operators it will be essential to ensure that wayfinding is simple and easy to use, allowing different visitors to easily locate their required facility. The site topography provides multiple entrance points and will require a well designed central circulation zone to enable users from all entrance points to navigate around the building. Visual links will also help to guide this process.

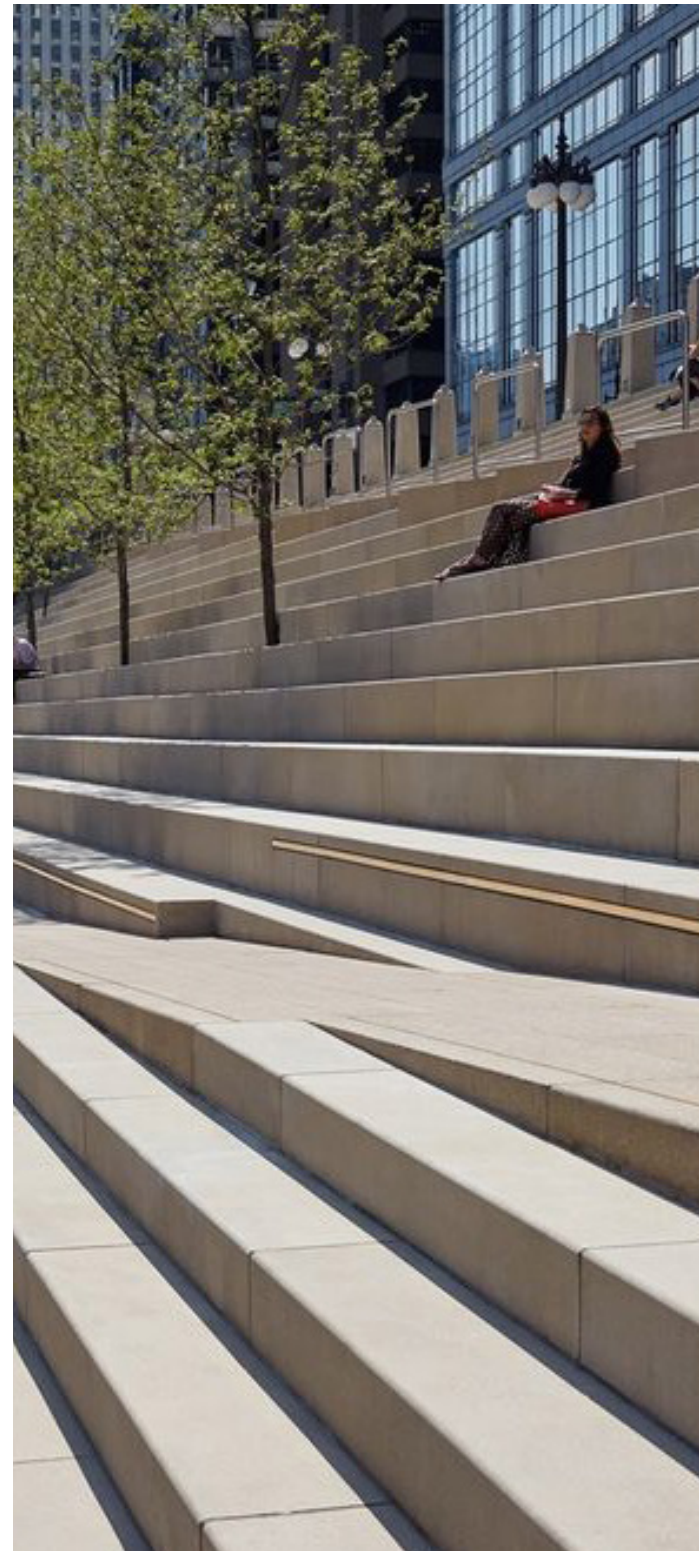


- Public Facing Entrance
- Reception desk
- Facility Entrances
- Facilities
- Primary Link
- Visual
- Facility Link



## Spatial Considerations Landscape

The external areas offer the opportunity to both create greater connection with the park and to enhance its utility in respect to complementary leisure/recreation uses. The significant change in level from Priory Road to the Quarry facilitates a heavily stepped approach that could be used as informal seating or for outdoor performances. Creative approaches can also be taken to accessibility with ramps weaving through traditional flights of steps that will provide access to the various building entrances.





# Appendix 2

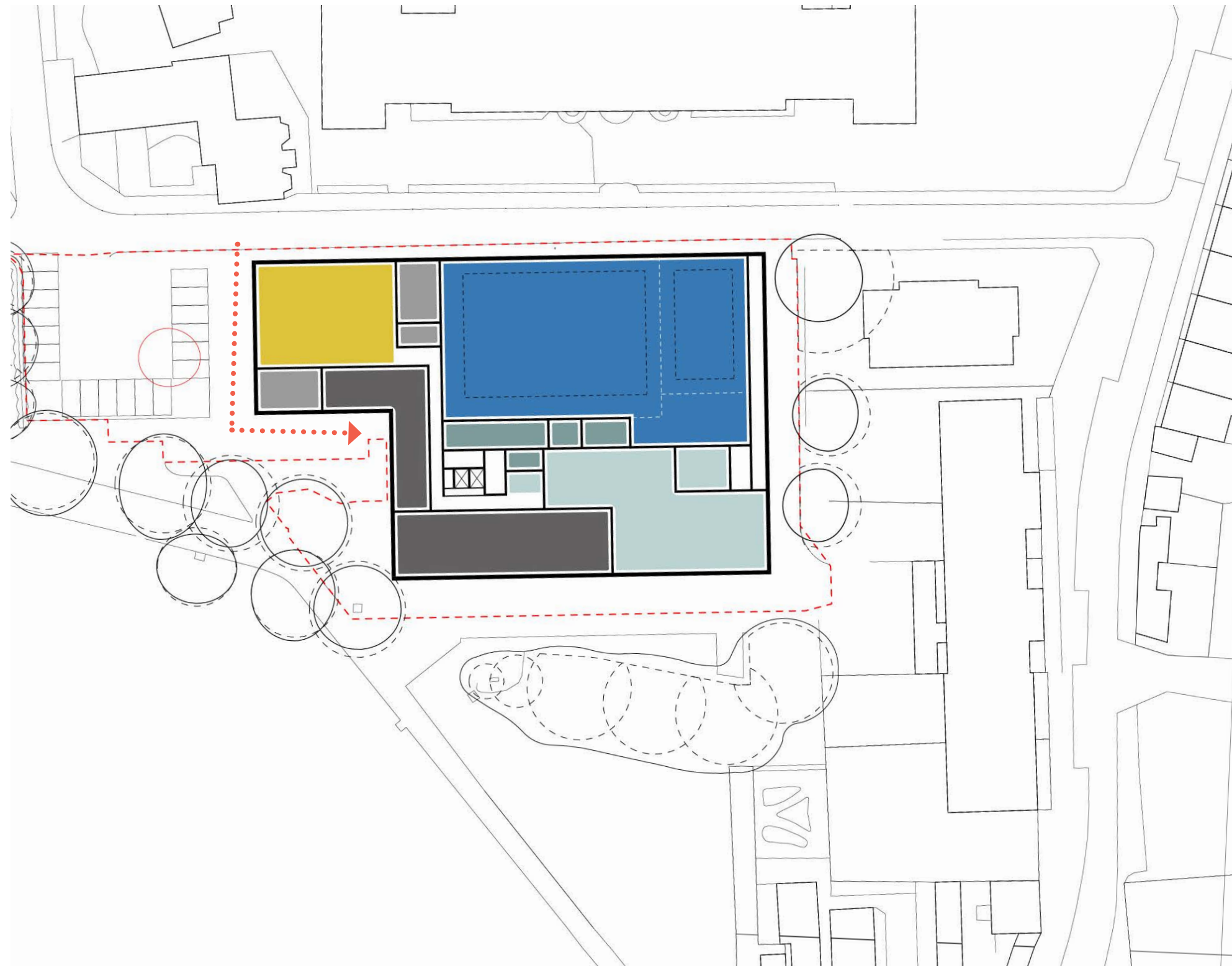
## Indicative Layouts

**KEY DESIGN OPPORTUNITIES:**

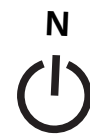
- Creation of a new public realm at street and park level which will actively connect the two spaces across the level change
- Creation of an active street frontage which better responds to the listed buildings and surrounding conservation area
- Utilisation of the levels to provide multiple accessible access points allowing the building to contribute to multiple settings
- Potential to use existing pool excavation to minimise groundworks required

**KEY DESIGN RISKS:**

- Plant access and servicing from large vehicles
- Avoidance of root protection zones
- Creation of logical circulation to service multiple users and operators
- Maintenance of existing easement
- Access to the site with large vehicles such as coaches for competitions
- Parking on the site when competitions are being held
- Construction vehicle access to the site



- Possible servicing route
- Pool
- Pool Support
- Wet Change
- Entrance & Reception - Leisure Facilities
- Back-of-House Functions
- Plant/Service



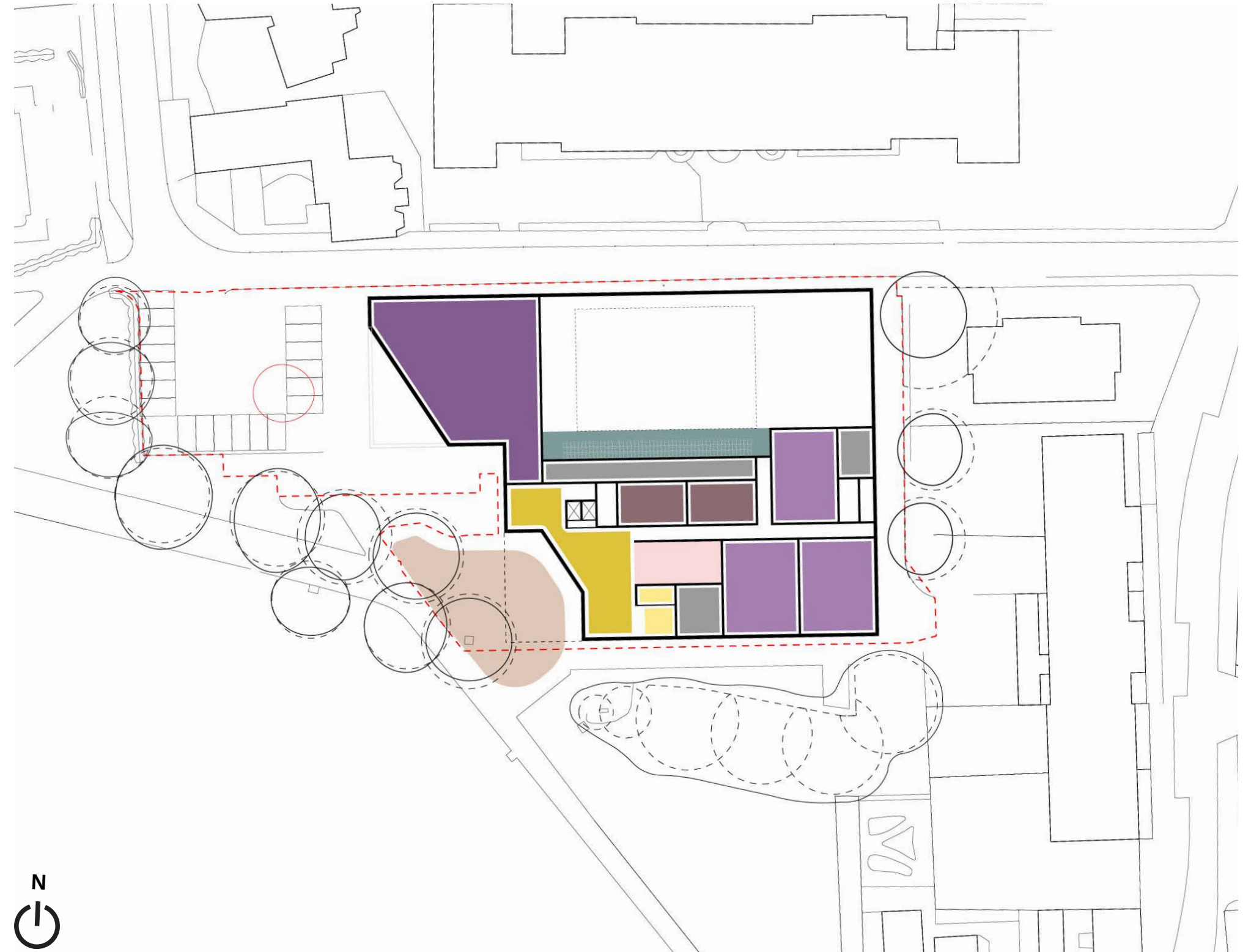


## Option Studies - The Quarry

### Option One - Indicative Layout L01

The adjacent layout shows an initial understanding of how the identified areas relate within a floorplate, demonstrating an indicative development footprint and mass on the site.

These plans are not intended to demonstrate design principles which have been briefly addressed in the latter portion of this document and will be further developed at Stage 02 of the design process.



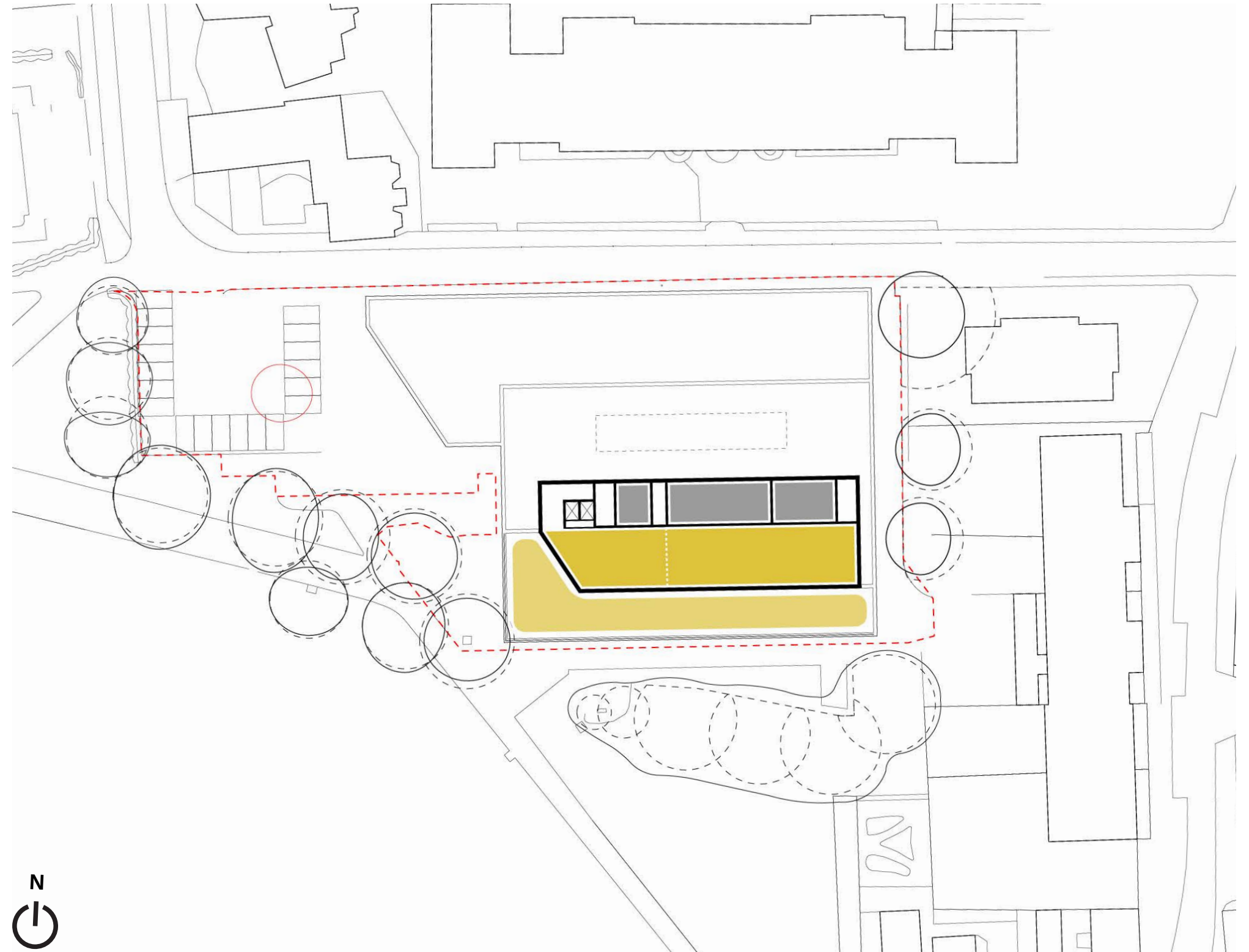
- Fitness Suite
- Fitness Studios
- Dry Changing
- Spectator seating
- Cafe & Bistro Entrance - secondary leisure reception
- Day care / soft play
- Storage, WC's & Back of House

## Option Studies - The Quarry

### Option One - Indicative Layout L02

The adjacent layout shows an initial understanding of how the identified areas relate within a floorplate, demonstrating an indicative development footprint and mass on the site.

These plans are not intended to demonstrate design principles which have been briefly addressed in the latter portion of this document and will be further developed at Stage 02 of the design process.



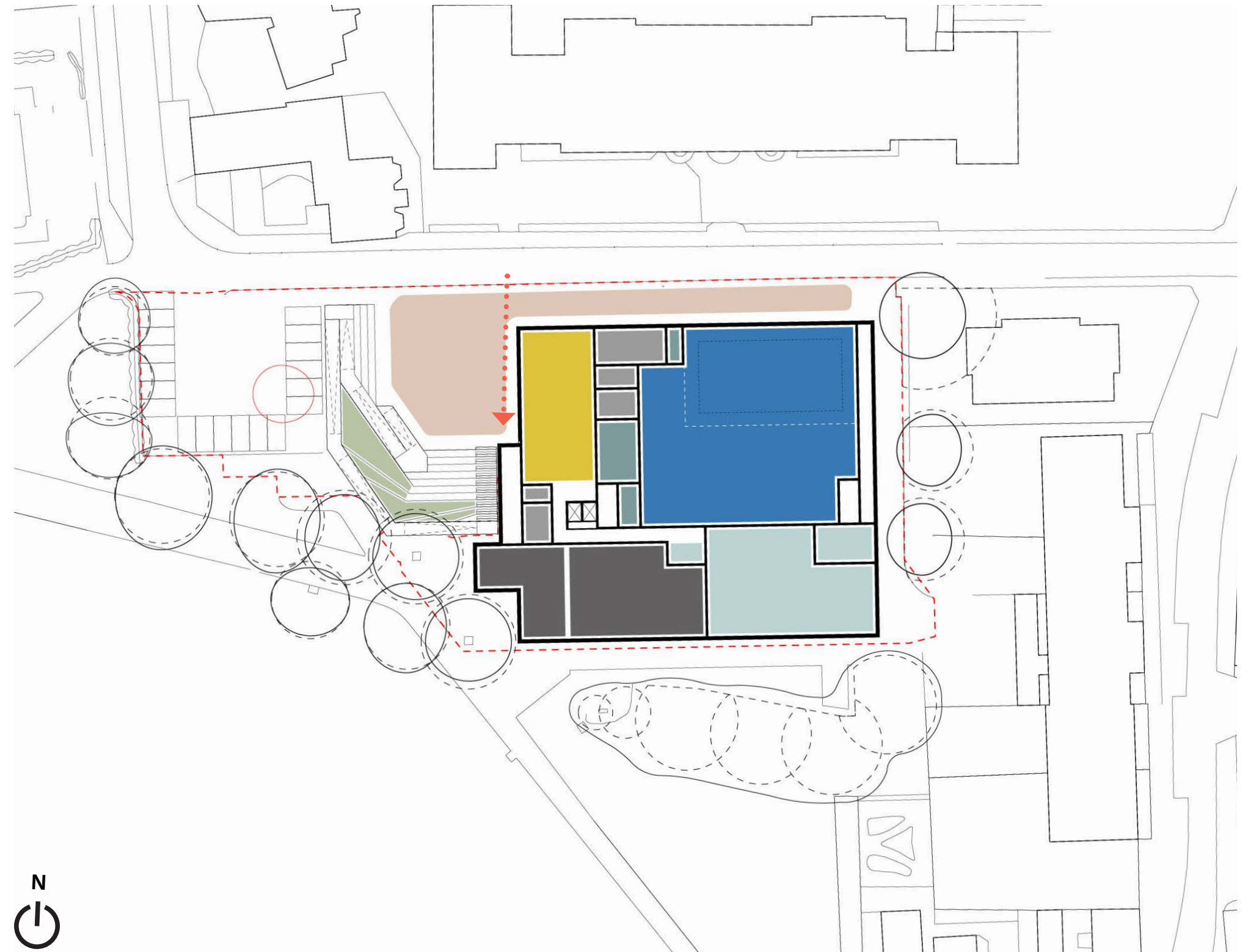
- Rooftop bistro with adjoining function room
- Bistro terrace
- Kitchen, WC's and storage

**KEY DESIGN OPPORTUNITIES:**

- Creation of a new public realm at street and park level which will actively connect the two spaces across the level change
- Creation of an active street frontage which better responds to the listed buildings and surrounding conservation area
- Utilisation of the levels to provide multiple accessible access points allowing the building to contribute to multiple settings
- Potential to use existing pool excavation to minimise groundworks required

**KEY DESIGN RISKS:**

- Plant access and servicing from large vehicles
- Avoidance of root protection zones
- Creation of logical circulation to service multiple users and operators
- Maintenance of existing easement
- Construction vehicle access to the site



- Possible servicing route
- Pool
- Pool Support
- Wet Change
- Entrance & Reception - Leisure Facilities
- Back-of-House Functions
- Plant/Service

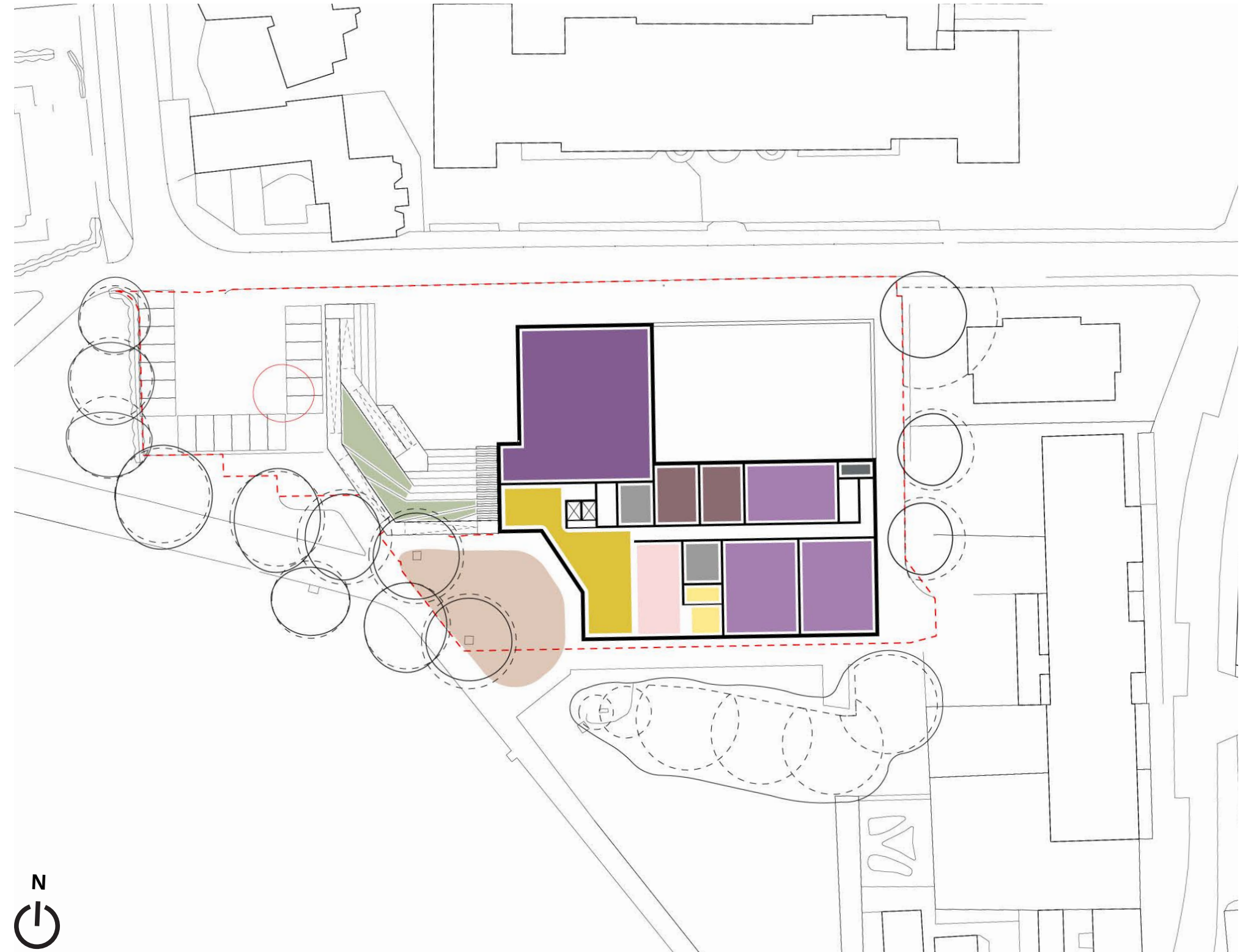


## Option Studies - The Quarry

### Option Two - Indicative Layout L01

The adjacent layout shows an initial understanding of how the identified areas relate within a floorplate, demonstrating an indicative development footprint and mass on the site.

These plans are not intended to demonstrate design principles which have been briefly addressed in the latter portion of this document and will be further developed at Stage 02 of the design process.



- Fitness Suite
- Fitness Studios
- Dry Changing
- Spectator seating
- Cafe & Bistro Entrance - secondary leisure reception
- Day care / soft play
- Storage, WC's & Back of House

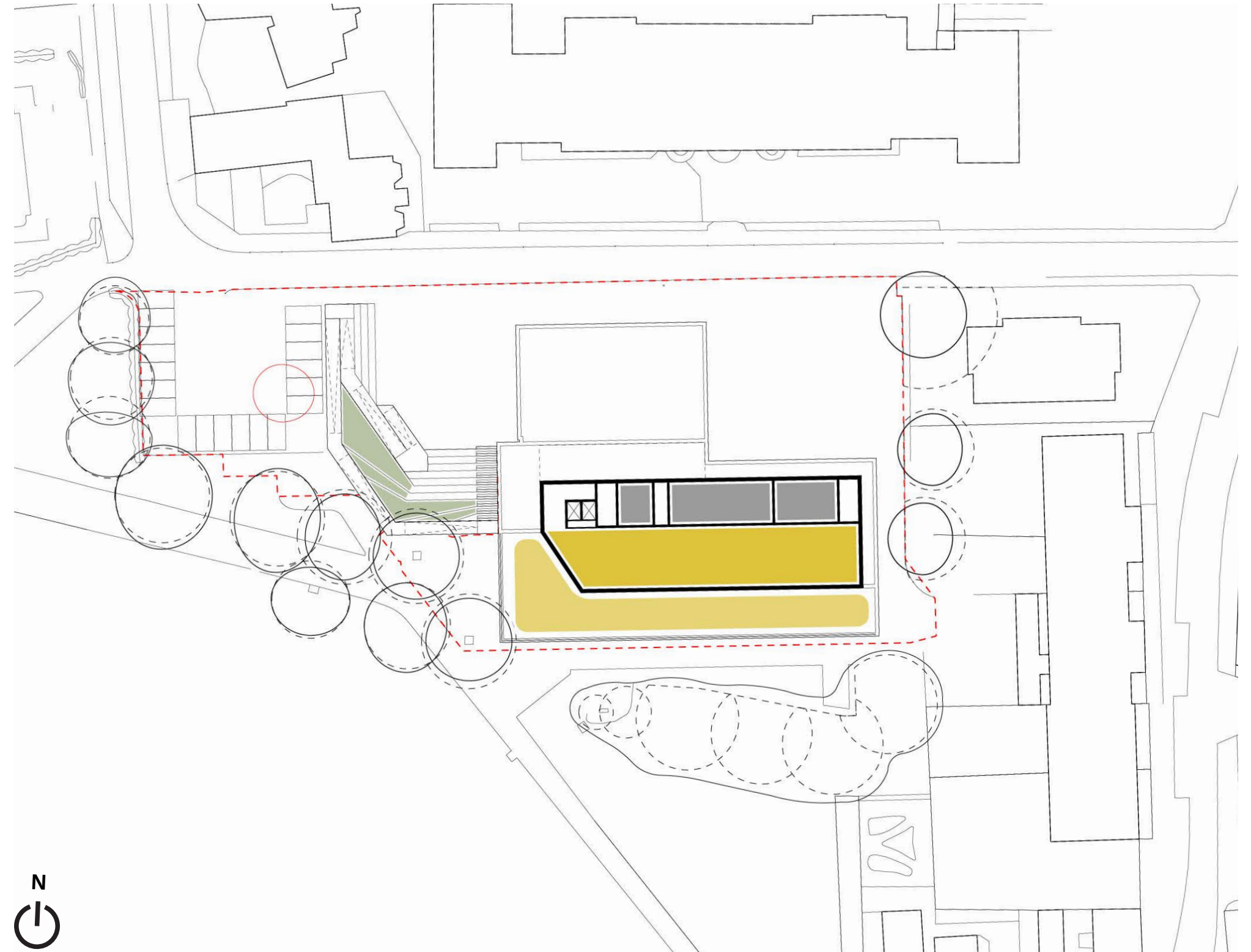


## Option Studies - The Quarry

### Option Two - Indicative Layout L02

The adjacent layout shows an initial understanding of how the identified areas relate within a floorplate, demonstrating an indicative development footprint and mass on the site.

These plans are not intended to demonstrate design principles which have been briefly addressed in the latter portion of this document and will be further developed at Stage 02 of the design process.



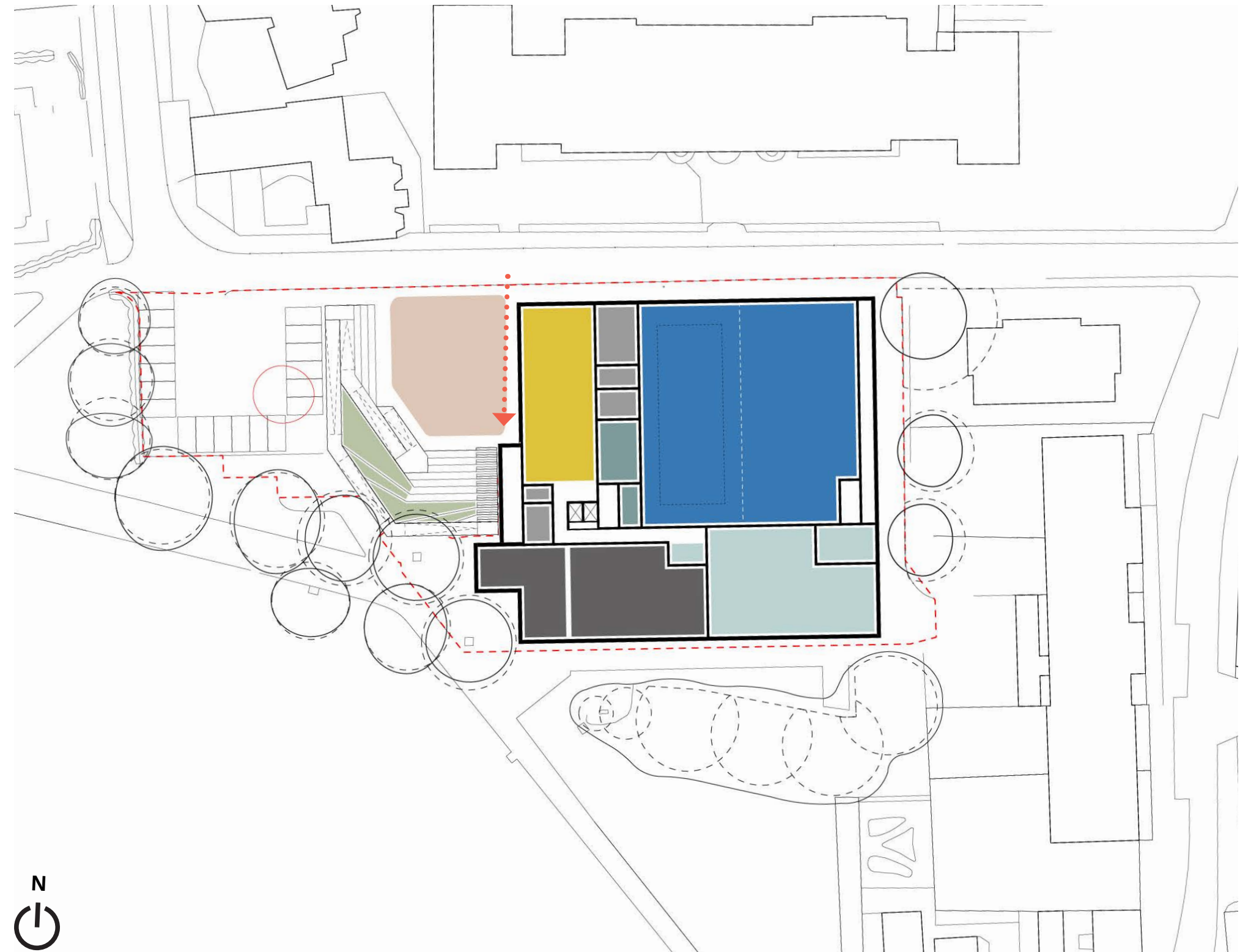
- Rooftop bistro with adjoining function room
- Bistro terrace
- Kitchen, WC's and storage

**KEY DESIGN OPPORTUNITIES:**

- Creation of a new public realm at street and park level which will actively connect the two spaces across the level change
- Creation of an active street frontage which better responds to the listed buildings and surrounding conservation area
- Utilisation of the levels to provide multiple accessible access points allowing the building to contribute to multiple settings
- Potential to use existing pool excavation to minimise groundworks required

**KEY DESIGN RISKS:**

- Plant access and servicing from large vehicles
- Avoidance of root protection zones
- Creation of logical circulation to service multiple users and operators
- Maintenance of existing easement
- Construction vehicle access to the site



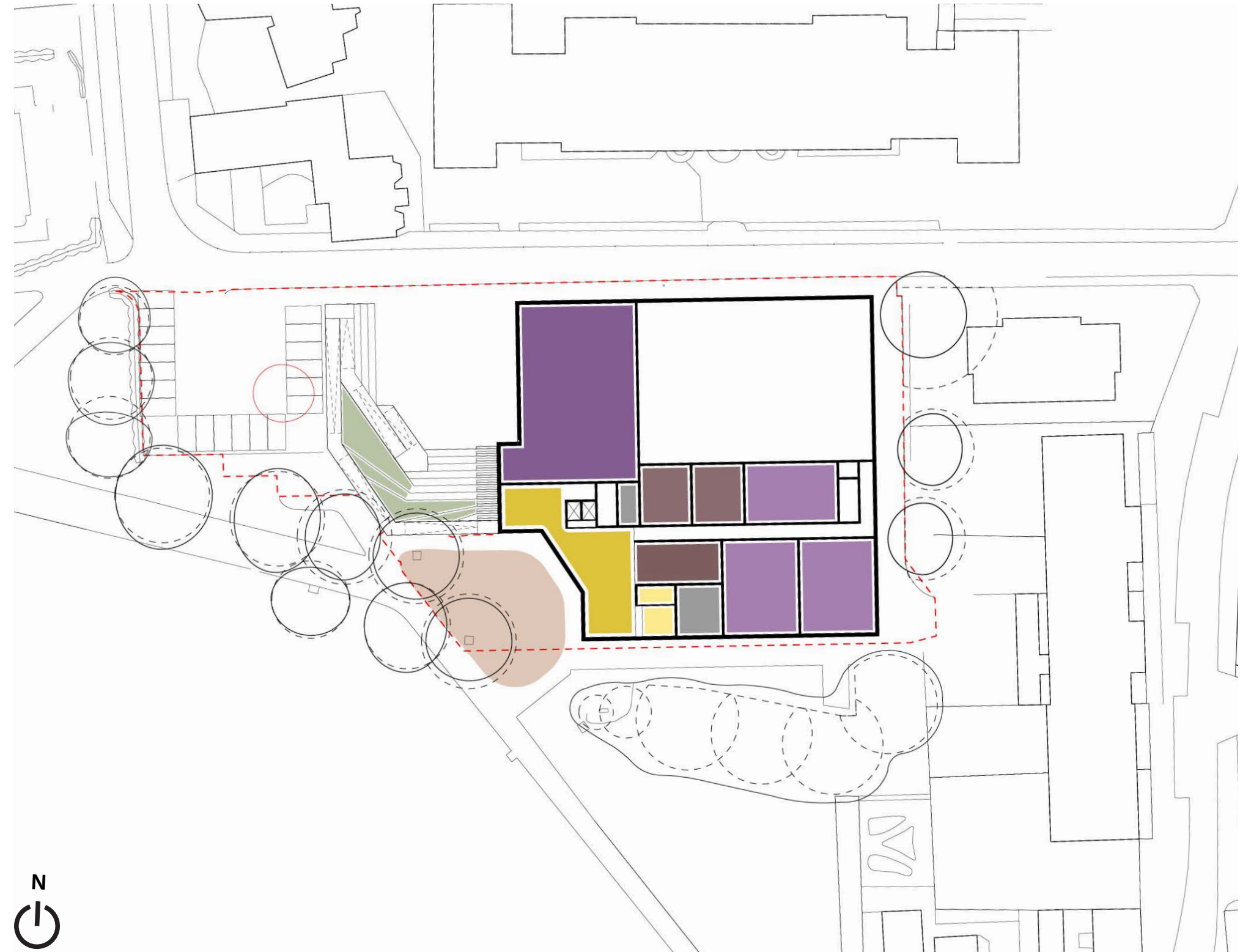
- Possible servicing route
- Pool
- Pool Support
- Wet Change
- Entrance & Reception - Leisure Facilities
- Back-of-House Functions
- Plant/Service

## Option Studies - The Quarry

### Option Three - Indicative Layout L01

The adjacent layout shows an initial understanding of how the identified areas relate within a floorplate, demonstrating an indicative development footprint and mass on the site.

These plans are not intended to demonstrate design principles which have been briefly addressed in the latter portion of this document and will be further developed at Stage 02 of the design process.



- Fitness Suite
- Fitness Studios
- Dry Changing
- Spectator seating
- Cafe & Bistro Entrance - secondary leisure reception
- Day care / soft play
- Storage, WC's & Back of House

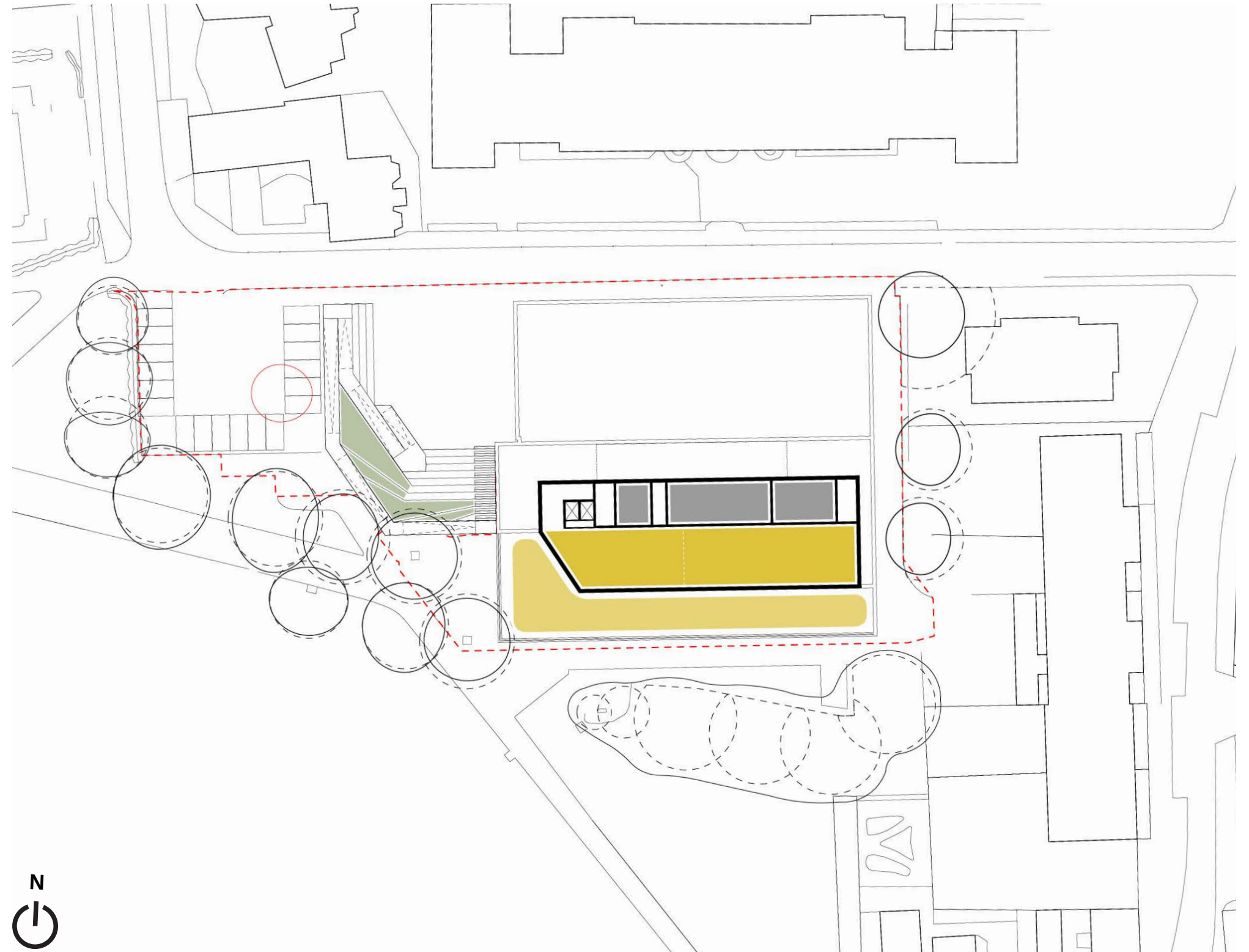


## Option Studies - The Quarry

### Option Three - Indicative Layout L02

The adjacent layout shows an initial understanding of how the identified areas relate within a floorplate, demonstrating an indicative development footprint and mass on the site.

These plans are not intended to demonstrate design principles which have been briefly addressed in the latter portion of this document and will be further developed at Stage 02 of the design process.



- Rooftop bistro with adjoining function room
- Bistro terrace
- Kitchen, WC's and storage

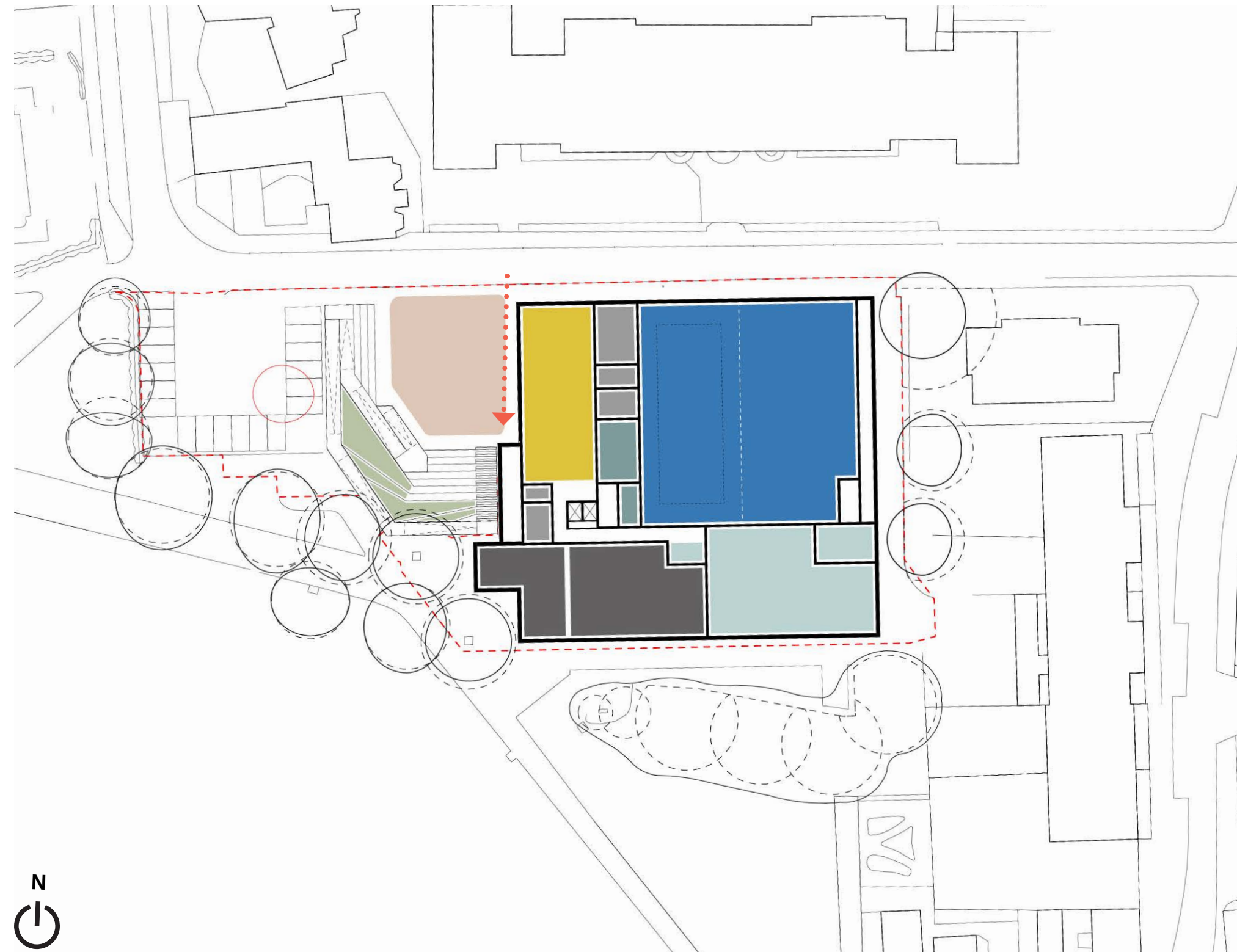


**KEY DESIGN OPPORTUNITIES:**

- Creation of a new public realm at street and park level which will actively connect the two spaces across the level change
- Creation of an active street frontage which better responds to the listed buildings and surrounding conservation area
- Utilisation of the levels to provide multiple accessible access points allowing the building to contribute to multiple settings
- Attraction of multiple different users with a wider variety of uses
- Potential to use existing pool excavation to minimise groundworks required

**KEY DESIGN RISKS:**

- Plant access and servicing from large vehicles
- Avoidance of root protection zones
- Avoidance of space quantum which would necessitate building on top of the pool.
- Creation of logical circulation to service multiple users and operators
- Maintenance of existing easement
- Construction vehicle access to the site



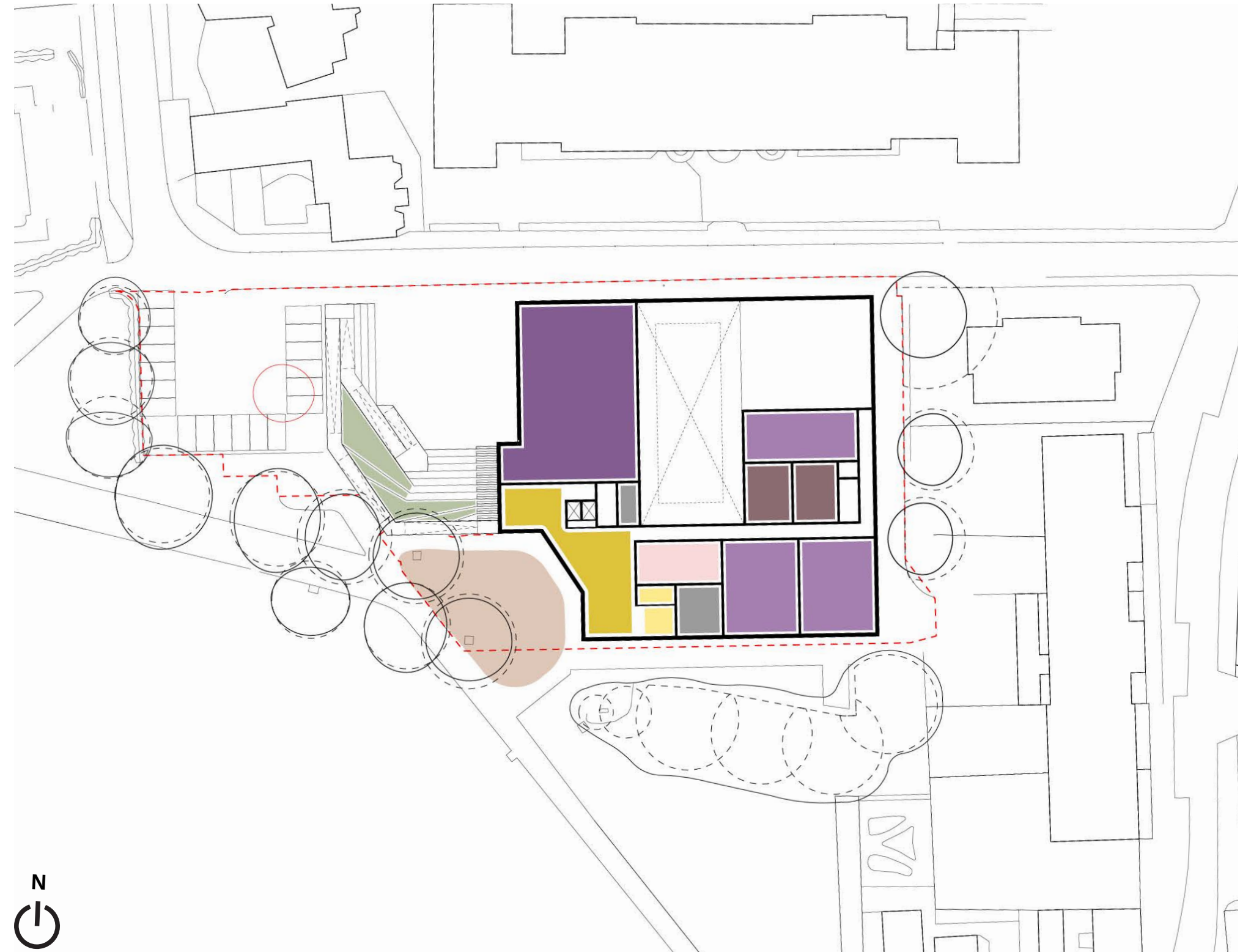
- Possible servicing route
- Pool
- Pool Support
- Wet Change
- Entrance & Reception - Leisure Facilities
- Back-of-House Functions
- Plant/Service

## Option Studies - The Quarry

### Option Four/Five - Indicative Layout

The adjacent layout shows an initial understanding of how the identified areas relate within a floorplate, demonstrating an indicative development footprint and mass on the site.

These plans are not intended to demonstrate design principles which have been briefly addressed in the latter portion of this document and will be further developed at Stage 02 of the design process.



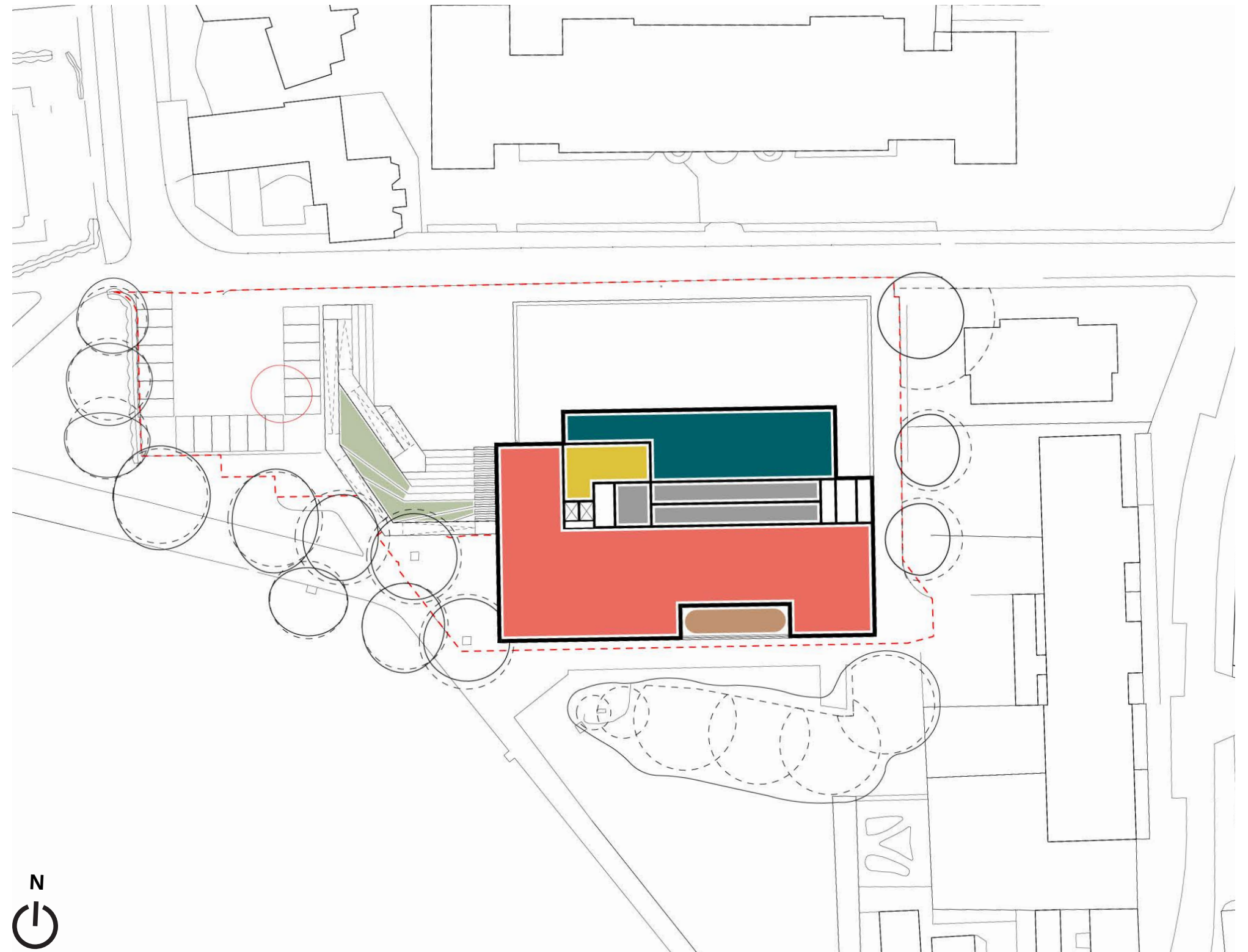
- Fitness Suite
- Fitness Studios
- Dry Changing
- Spectator seating
- Cafe & Bistro Entrance - secondary leisure reception
- Day care / soft play
- Storage, WC's & Back of House

## Option Studies - The Quarry

### Option Four/Five - Indicative Layout

The adjacent layout shows an initial understanding of how the identified areas relate within a floorplate, demonstrating an indicative development footprint and mass on the site.

These plans are not intended to demonstrate design principles which have been briefly addressed in the latter portion of this document and will be further developed at Stage 02 of the design process.



- Rooftop bistro with adjoining function room
- Bistro terrace
- Kitchen, WC's and storage

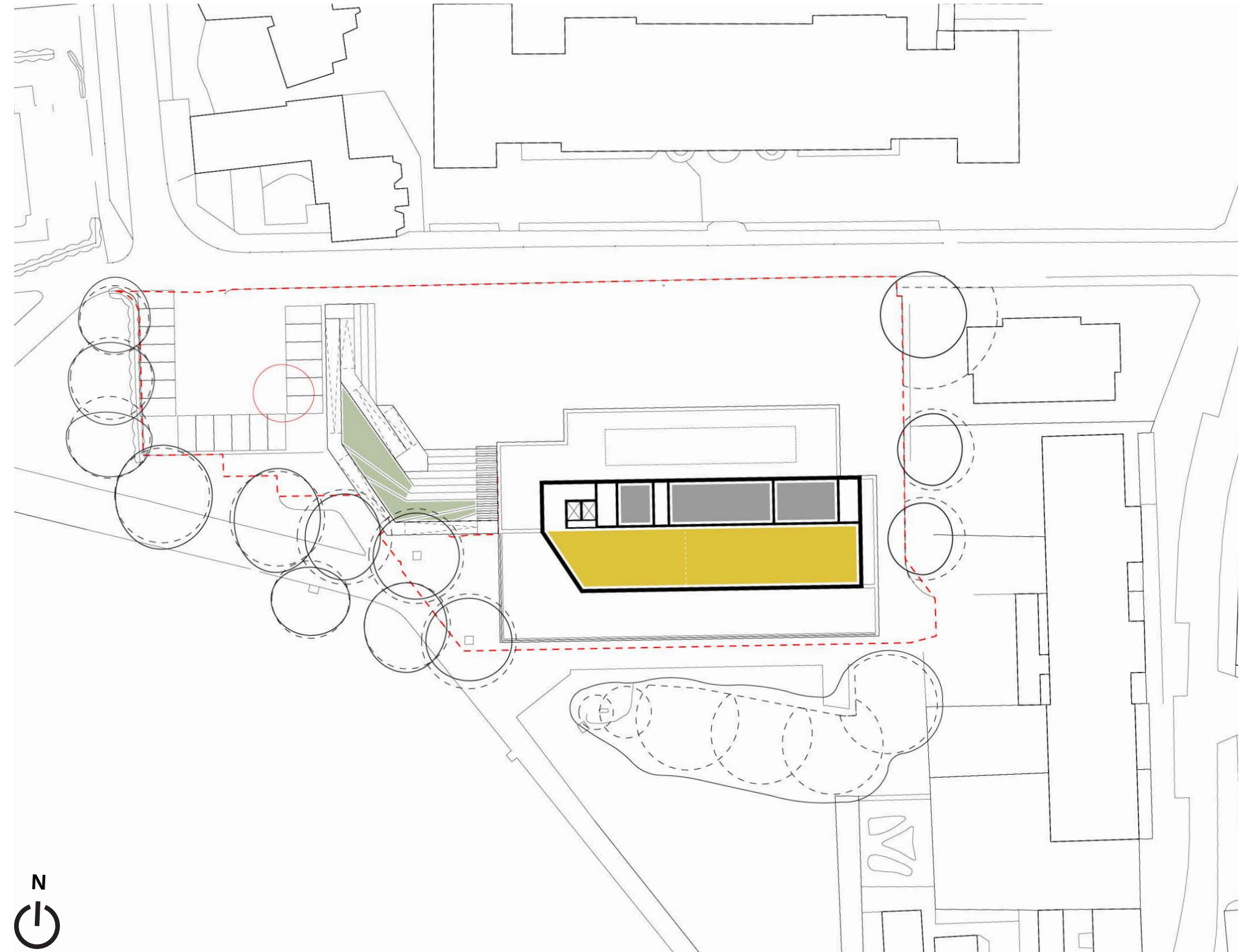


## Option Studies - The Quarry

### Option Four/Five - Indicative Layout

The adjacent layout shows an initial understanding of how the identified areas relate within a floorplate, demonstrating an indicative development footprint and mass on the site.

These plans are not intended to demonstrate design principles which have been briefly addressed in the latter portion of this document and will be further developed at Stage 02 of the design process.



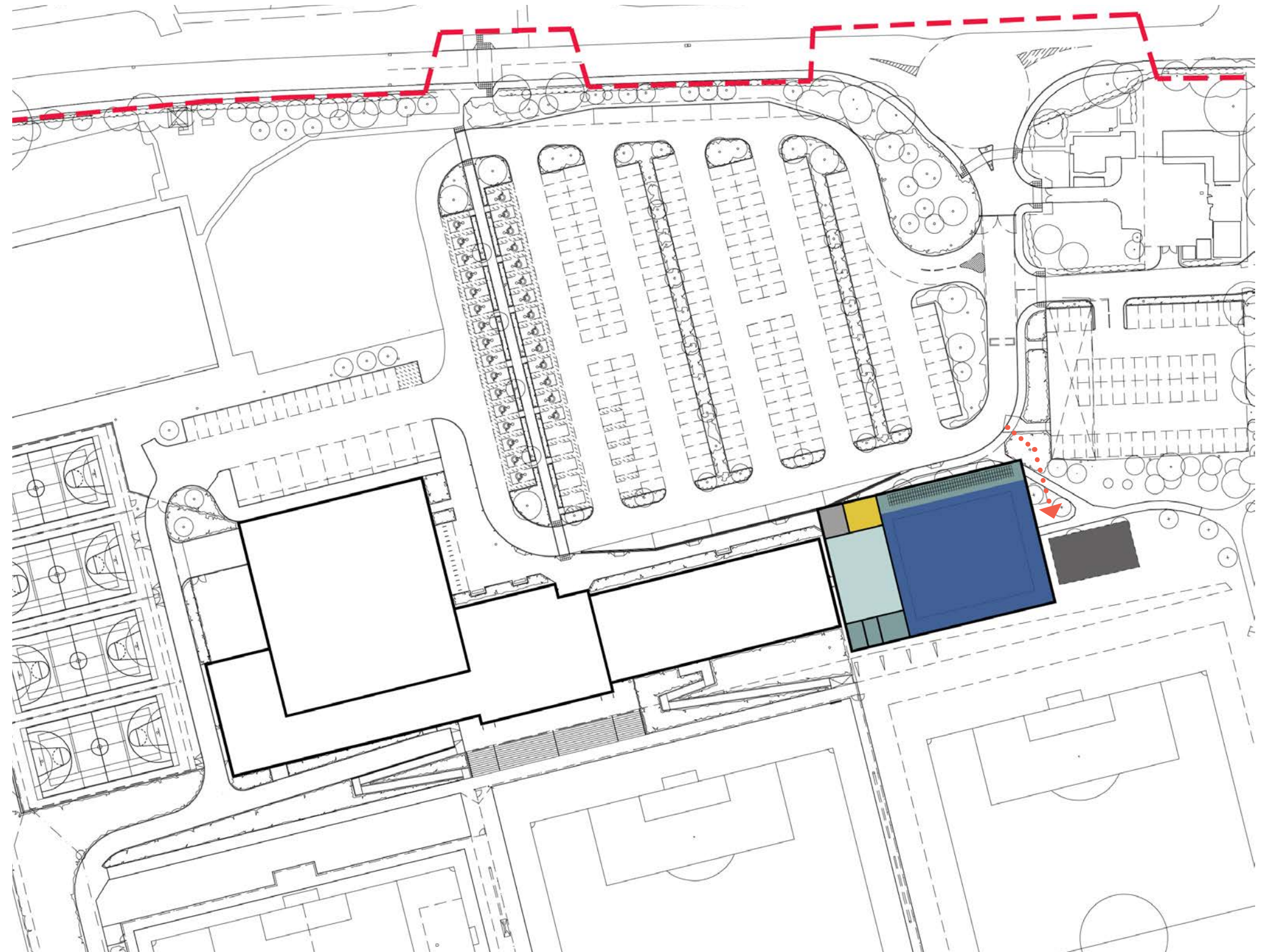


**KEY DESIGN OPPORTUNITIES:**

- Provision of continued swimming services whilst the Quarry is constructed

**KEY DESIGN RISKS:**

- Plant access and servicing from large vehicles
- Removal of trees to create space for temporary facilities
- Increased pressure on parking facilities with additional impact of competition swimming
- Creation of a completely flat surface for the facilities without laying permanent foundations
- Unkown impact of the temporary facility on the ground beneath
- Unkown quality of solidity of ground beneath



- Possible servicing route
- Pool
- Pool Support
- Wet Change
- Entrance & Reception - Leisure Facilities
- Back-of-House Functions
- Plant/Service

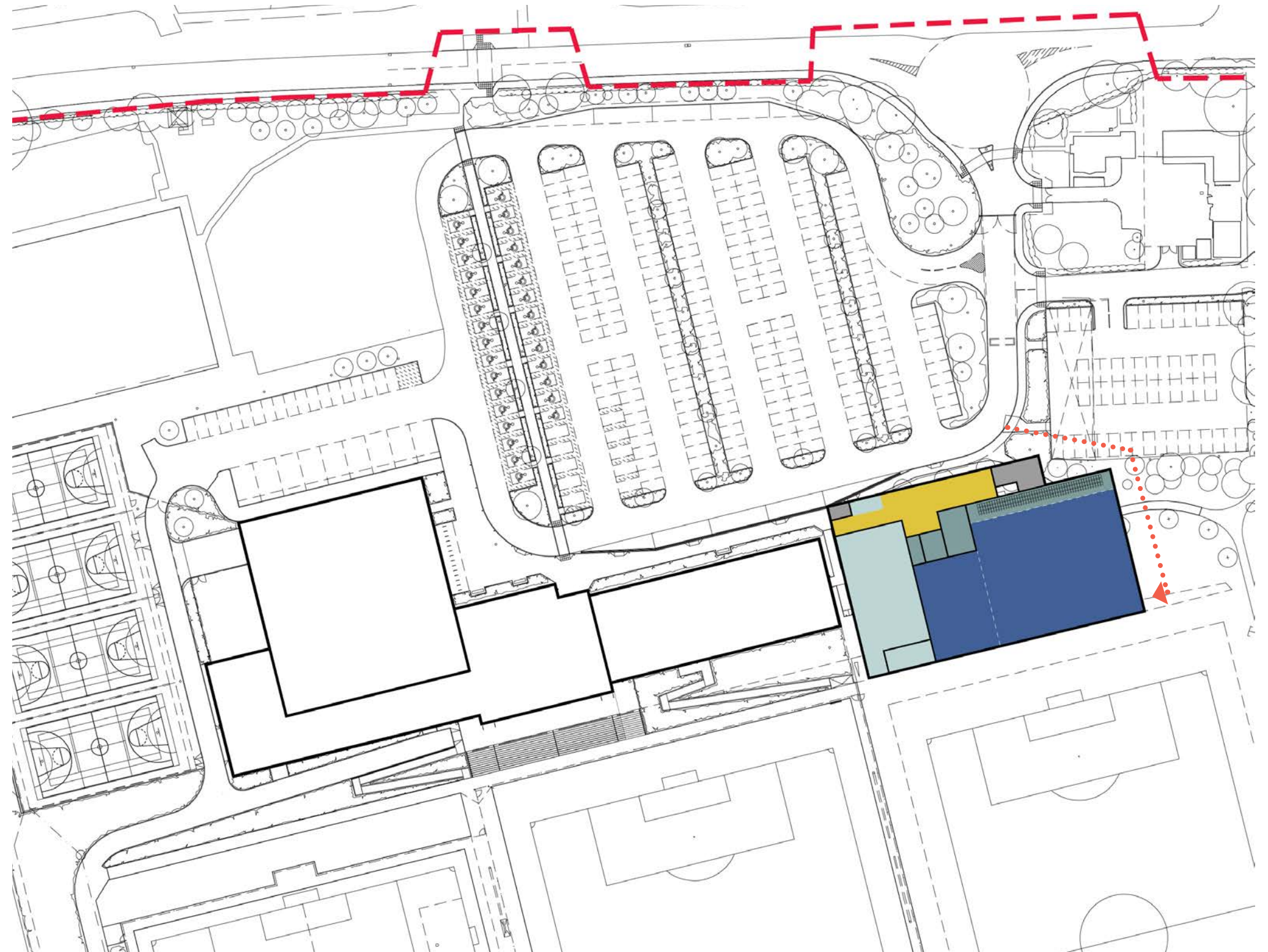


**KEY DESIGN OPPORTUNITIES:**

- Provision of permanent swimming facilities at Sundorne
- Opportunity to add a newly designed facility to the complex which can increase the site's architectural merit and overall attractiveness

**KEY DESIGN RISKS:**

- Plant access and servicing from large vehicles to lower ground plant
- Potential that parking spaces would be lost to make way for service access as indicated
- Removal of trees to create space for the facilities
- Increased pressure on parking facilities with additional impact of competition swimming
- Unknown quality or solidity of ground beneath

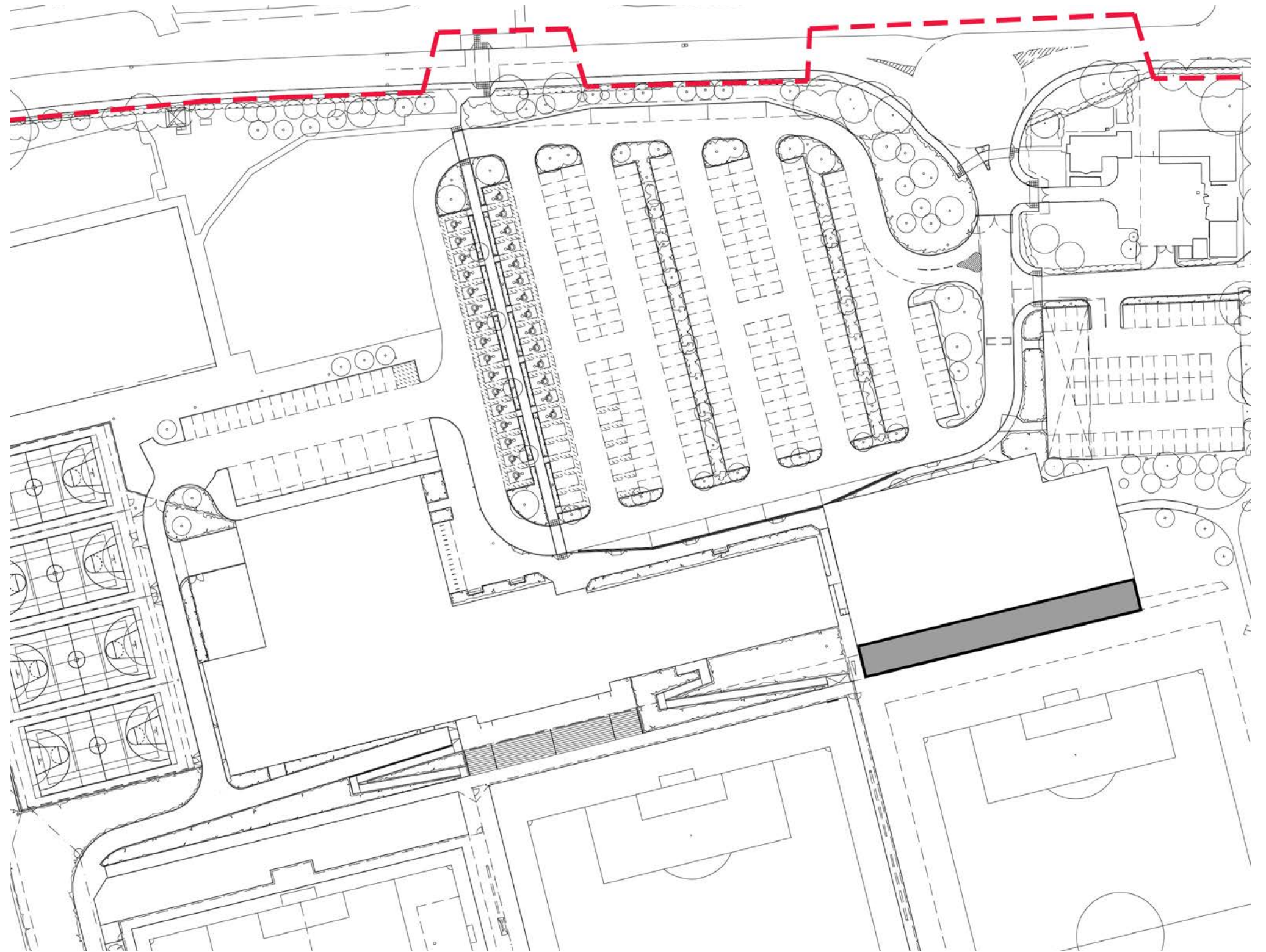


- Possible servicing route
- Pool
- Pool Support
- Wet Change
- Entrance & Reception - Leisure Facilities
- Back-of-House Functions
- Plant/Service



The adjacent layout shows an initial understanding of how the identified areas relate within a floorplate, demonstrating an indicative development footprint and mass on the site.

These plans are not intended to demonstrate design principles which have been briefly addressed in the latter portion of this document and will be further developed at Stage 02 of the design process.



● Plant/Service

